



AREA MAP

SCALE: 1"=200'

I CONSENT TO THE FILING OF THIS SITE PLAN.

OWNER DATE  
 APPLICANT DATE

SITE PLAN OF No. 1 WEST MAIN STREET  
 LOT 1 BLOCK 0301 ZONE: HISTORIC BUSINESS  
 DATE 2-29-24 SCALE 1"=20'  
 APPLICANT VILLA RESTAURANT GROUP  
 ADDRESS 25 WASHINGTON STREET  
 MORRISTOWN NJ, 07960

I HEREBY CERTIFY THAT I HAVE PREPARED THIS SITE PLAN  
 AND THAT ALL DIMENSIONS AND OTHER INFORMATION SET  
 FORTH ARE CORRECT.

NAME  
 PE 29497  
 TITLE AND LICENSE NUMBER

APPROVED BY THE BOARD OF  
 THE BOROUGH OF MENDHAM

By: CHAIRMAN DATE  
 SECRETARY DATE

I HAVE REVIEWED THIS SITE PLAN AND CERTIFY THAT IT  
 MEETS ALL ORDINANCES AND REGULATIONS UNDER MY  
 JURISDICTION.

BOROUGH ENGINEER DATE  
 CONSTRUCTION OFFICIAL DATE

I HEREBY CERTIFY THAT ALL REQUIRED IMPROVEMENTS  
 HAVE BEEN INSTALLED OR THAT A PERFORMANCE  
 GUARANTY HAS BEEN POSTED IN ACCORDANCE WITH  
 THE SITE PLAN ORDINANCE.

CONSTRUCTION OFFICIAL  
 BOROUGH ENGINEER

I HEREBY CERTIFY THAT ALL THE REQUIRED IMPROVEMENTS  
 OF THIS SITE PLAN HAVE BEEN INSTALLED IN COMPLIANCE  
 WITH ALL APPLICABLE ORDINANCES AND REGULATIONS.

BOROUGH ENGINEER DATE  
 CONSTRUCTION OFFICIAL DATE

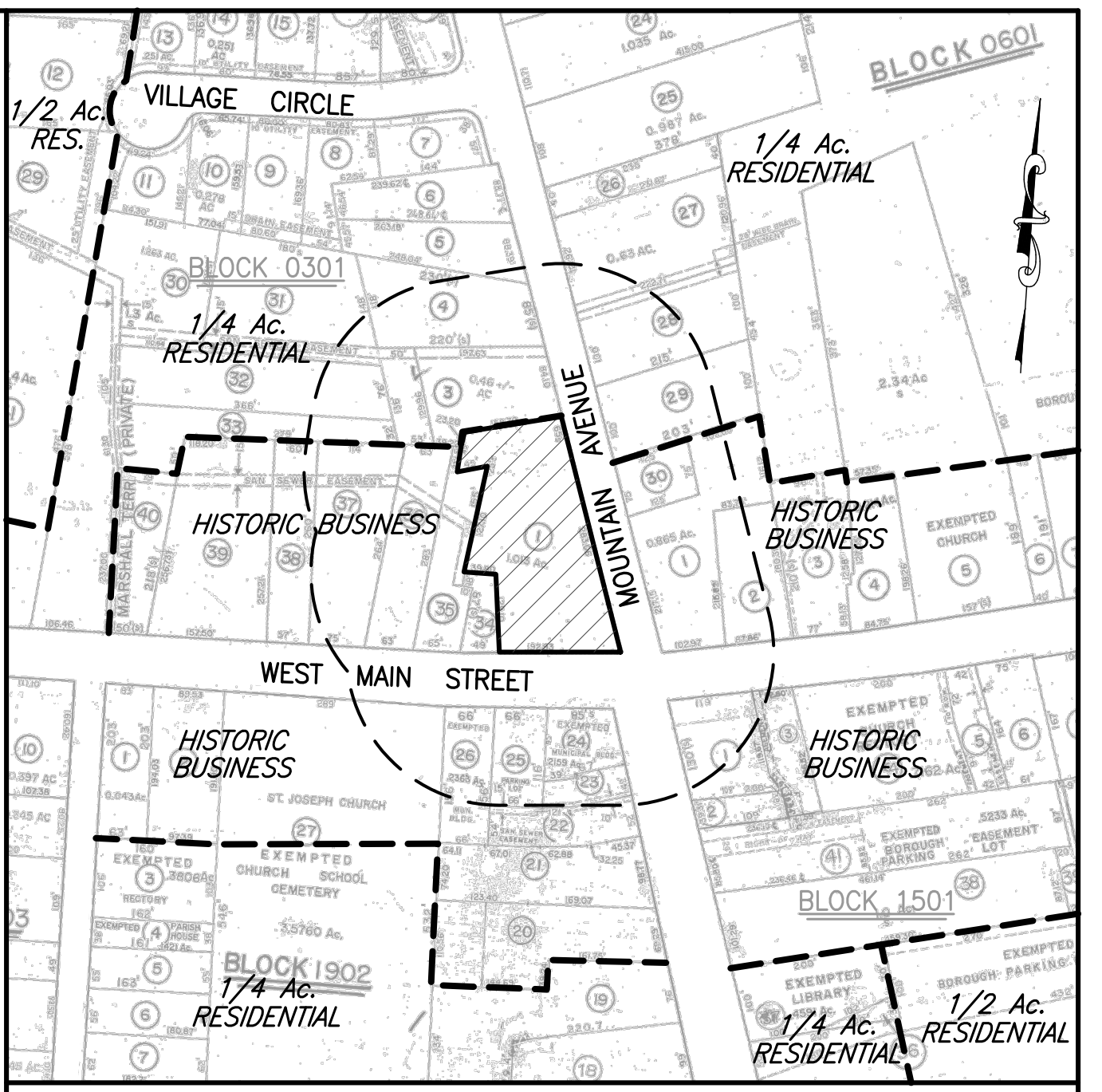
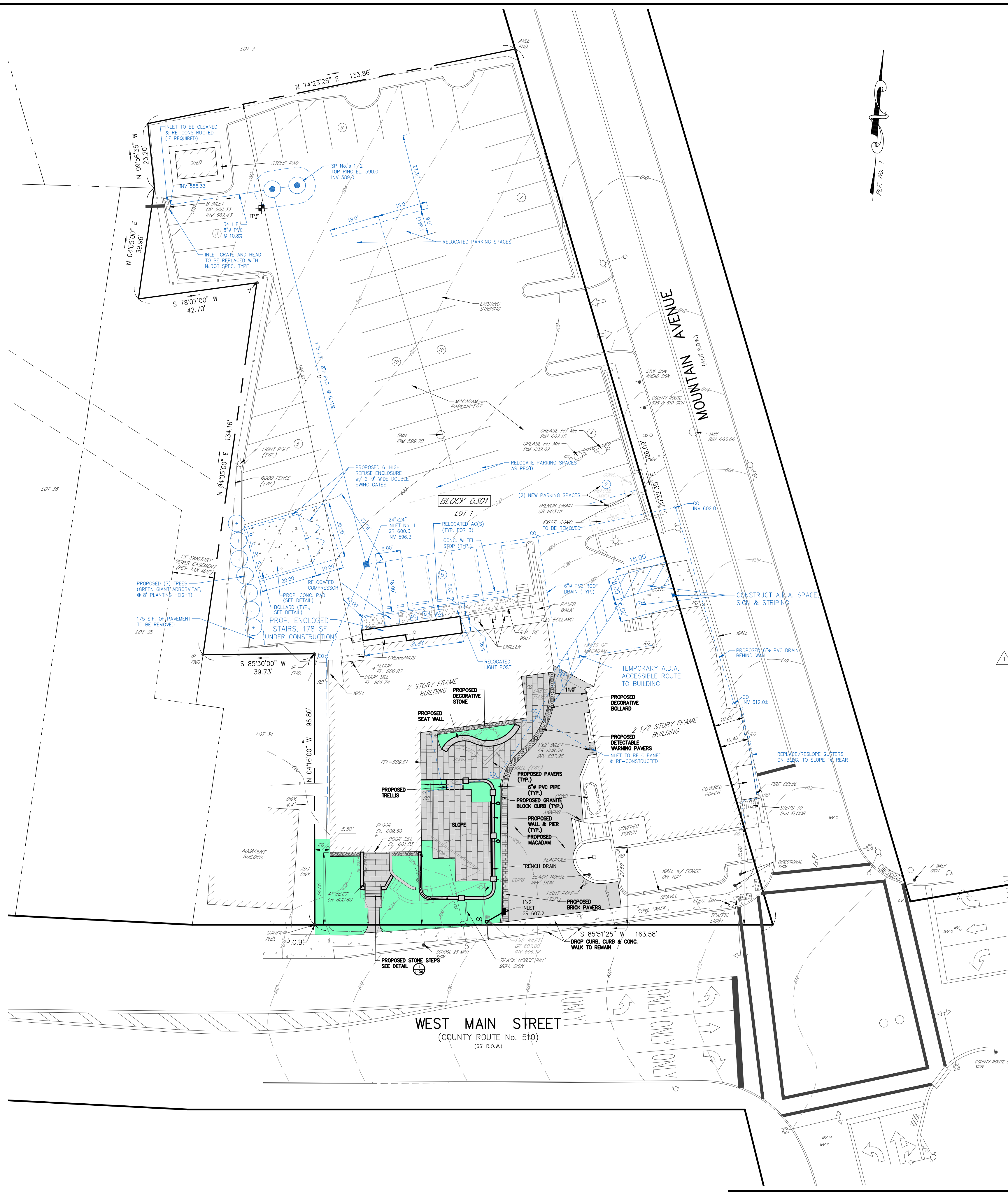
OCCUPANCY PERMIT ISSUED DATE

IT IS HERBY CERTIFIED THAT TAX PAYMENTS ARE CURRENT.

TAX COLLECTOR DATE

THIS IS TO CERTIFY THE COMPLETENESS OF THE ABOVE  
 REFERENCED DEVELOPMENT APPLICATION.

BOROUGH ENGINEER DATE



KEY MAP

SCALE: 1"=200'

ZONING NOTES

ZONE: HISTORIC BUSINESS ZONE	REQUIREMENT	PREV. APPROVED 7-16-2024	PROPOSED
MAX. FAMILIES/LOT	2	N/A	NO CHANGE
MIN. AREA	0.5 Ac.	1.01 Ac.	NO CHANGE
MIN. WIDTH (1)	100 FT.	157.73 FT.	NO CHANGE
MAX. HEIGHT	2 STY.	2 STORY	NO CHANGE
MAX. HEIGHT	35 FT.	34.97 FT.	NO CHANGE
MAX. IMPROVEMENT COVERAGE	65%	82.55%	82.52% (3)
MIN. FRONT YARD (MAIN BLDG.)	20 FT.	26.00 FT.	NO CHANGE
MIN. REAR YARD (MAIN BLDG.)	20 FT.	196.30 FT.	NO CHANGE
MIN. SIDE YARD (MAIN BLDG.)	10 FT.	5.50 FT. (2)	NO CHANGE

- (1) WIDTH MEASURED AT THE REAR OF THE FRONT YARD.  
 (2) EXISTING NON-CONFORMING CONDITION.  
 (3) IMPROVEMENT COVERAGE REDUCED BY 15 S.F. (0.03%).

GENERAL NOTES

- 1) TOTAL LOT AREA = 44,136 S.F. (1.01 Ac.)  
 2) ELEVATIONS BASED ON NGVD 1929.  
 3) OWNER OF RECORD: ONE WEST MAIN STREET, LLC  
 25 WASHINGTON STREET  
 MORRISTOWN, NJ 07960  
 4) PARKING SPACES ON SITE = 56 SPACES.  
 5) THERE ARE NO NEW SIGNS PROPOSED.

PREV. APPROVED IMPROVEMENT COVERAGE CALC'S

IMPROVEMENT COVERAGE	= 36,257 S.F.
COVERED STAIRS	= 178 S.F.
TOTAL	= 36,435 S.F./44,136 S.F. = 82.55%

PROPOSED IMPROVEMENT COVERAGE CALC'S

EXISTING IMPROVEMENT COVERAGE	= 36,435 S.F.
PAVEMENT WALKS, PATIO & WALLS T.B.R.	= (-3,990 S.F.)
NEW MACADAM	= 2,020 S.F.
NEW WALKS, PATIOS & WALLS	= 1,955 S.F.
TOTAL	= 36,420 S.F./44,136 S.F. = 85.52%

LEGEND

- PROPOSED DECORATIVE STONE
- PROPOSED LANDSCAPE AREAS  
SEE LANDSCAPE PLANS BY MELLILLO, BAUER & CARMEN
- PROPOSED HARDSCAPE AREAS  
SEE LANDSCAPE PLANS BY MELLILLO, BAUER & CARMEN
- PROPOSED BRICK PAVERS
- ITEMS PREVIOUSLY APPROVED BY RESOLUTION DATED 7-16-24.

NO	ADDED GENERAL NOTE No. 5	1-31-25	B.W.	M.J.H.
	REVISIONS	DATE	BY	CHKD

**SITE PLAN**

LOT 1 **DRIVEWAY AND PATIO RECONSTRUCTION** BLOCK 0301  
**No. 1 WEST MAIN STREET**

BOROUGH OF MENDHAM MORRIS COUNTY NEW JERSEY

APPLICANT: VILLA RESTAURANT GROUP  
 25 WASHINGTON STREET  
 MORRISTOWN NJ, 07960

**ROBERT J. MUELLER**  
 PROFESSIONAL LAND SURVEYOR  
 N.J. LIC. No. 37206

**MICHAEL J. HUBSCHMAN P.E., P.P.**  
 PROFESSIONAL ENGINEER AND PLANNER  
 N.J.P.E. No. 29497 N.J.P.P. No. 3200

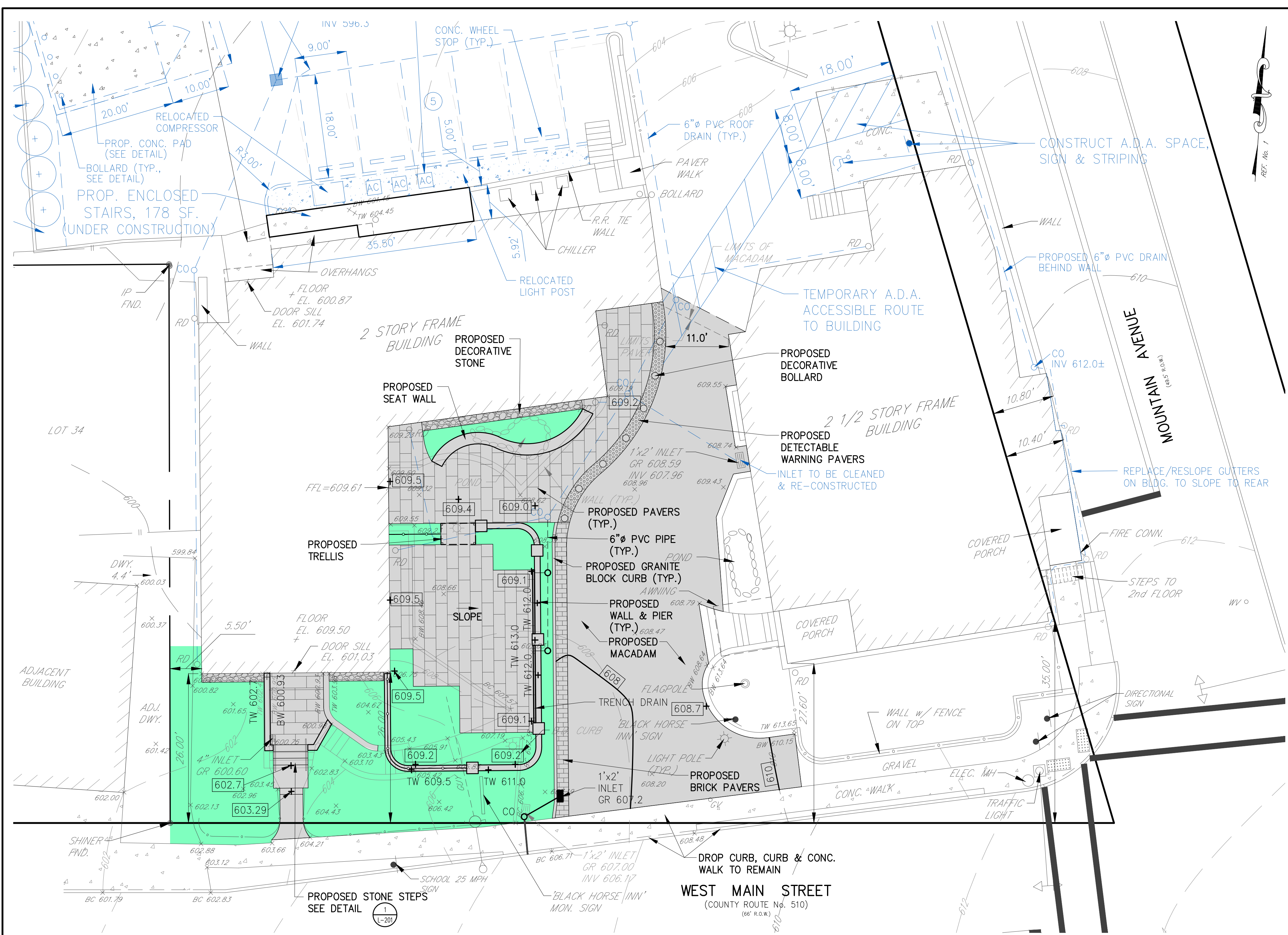
1-3-25 DATE

**HUBSCHMAN ENGINEERING, P.A.**  
 ENGINEERS PLANNERS - SURVEYORS  
 263A S. WASHINGTON AVE., BERGENFIELD, NJ 07621  
 201-384-5666

DRAWN BY: B.W.  
 CHKD BY: MJH  
 SCALE: 1"=20'  
 DRAWING NO. **3703-6** REV. 1  
 1 OF 3

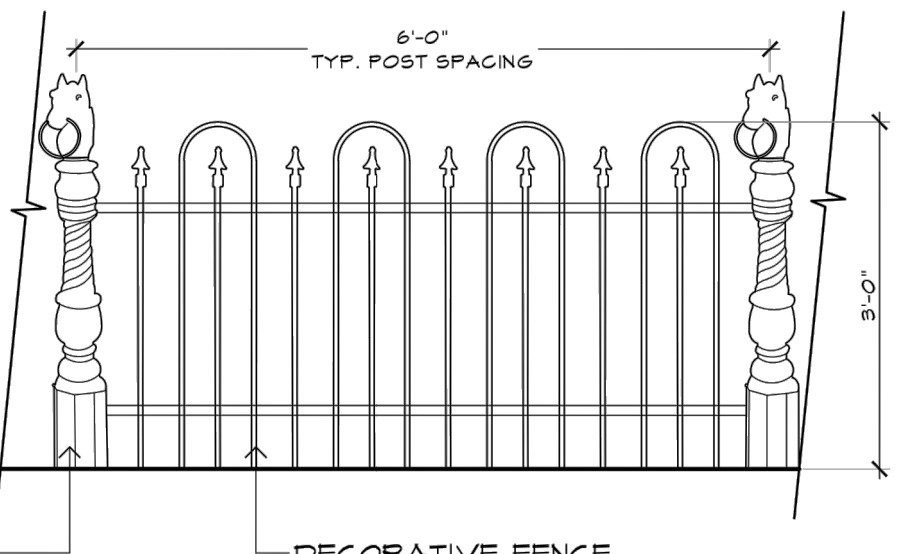
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EXISTING FENCE & POSTS

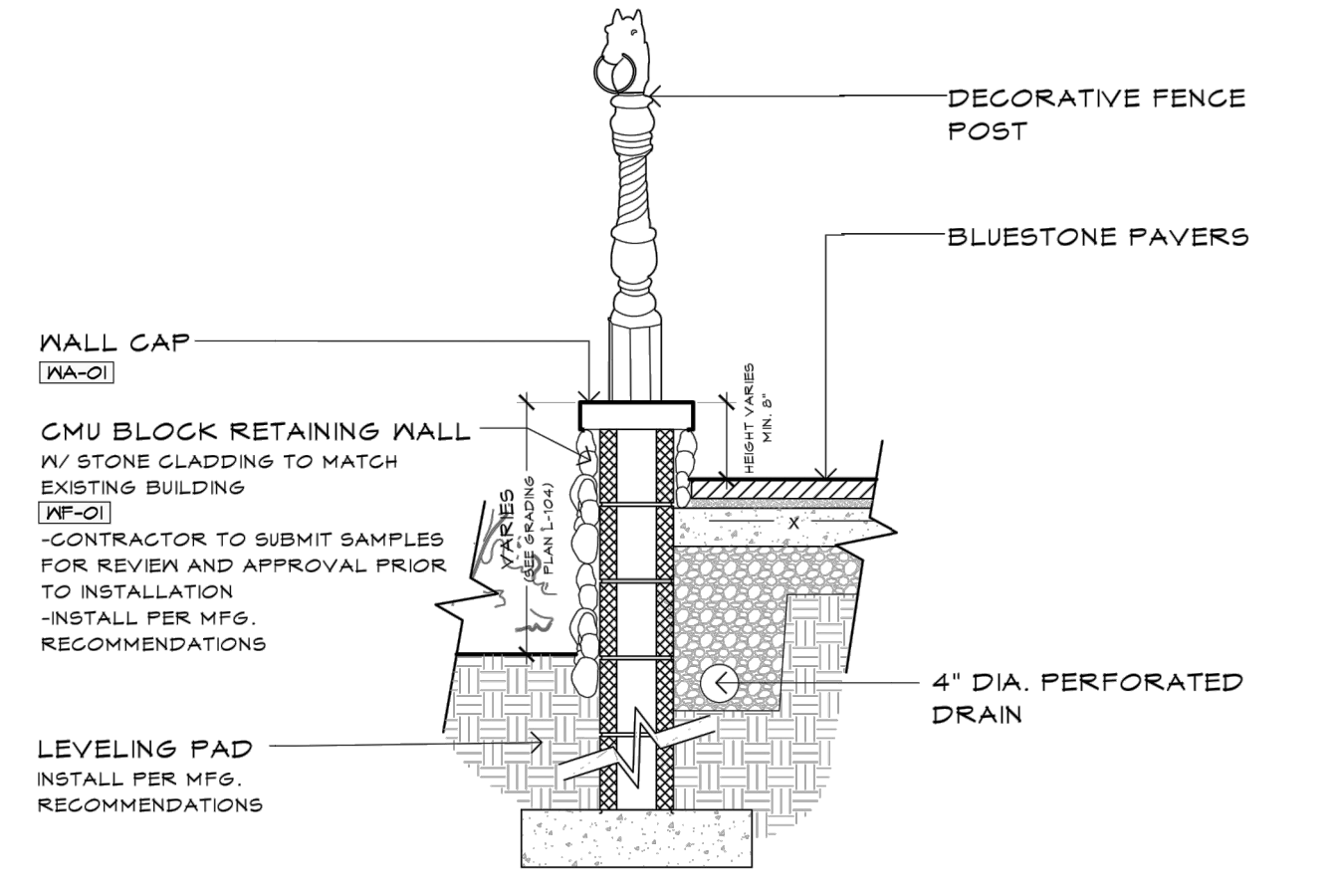
NOTES  
 - MATERIAL SAMPLES TO BE PROVIDED TO LANDSCAPE ARCHITECT, ARCHITECT & OWNER'S REP.  
 - CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF FENCE COMPONENTS, ATTACHMENTS, ETC. FOR APPROVAL PRIOR TO FABRICATION AND INSTALLATION  
 - FABRICATOR/CONTRACTOR SHALL SUBMIT MOCK-UP/FENCE SAMPLES FOR APPROVAL PRIOR TO FABRICATION.



DECORATIVE HORSE HEAD FENCE POST [RA-01] TO MATCH EXISTING

DECORATIVE FENCE [RA-01] TO MATCH EXISTING

ELEVATION: DECORATIVE FENCE & POST

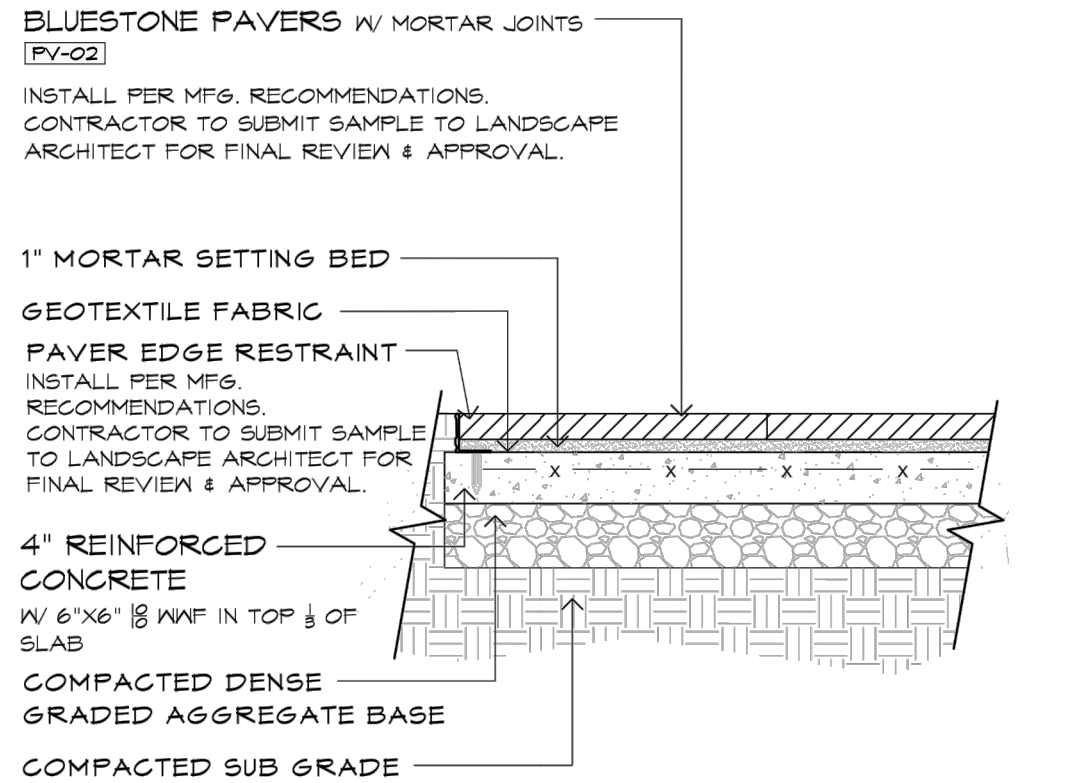


SECTION: RETAINING WALL



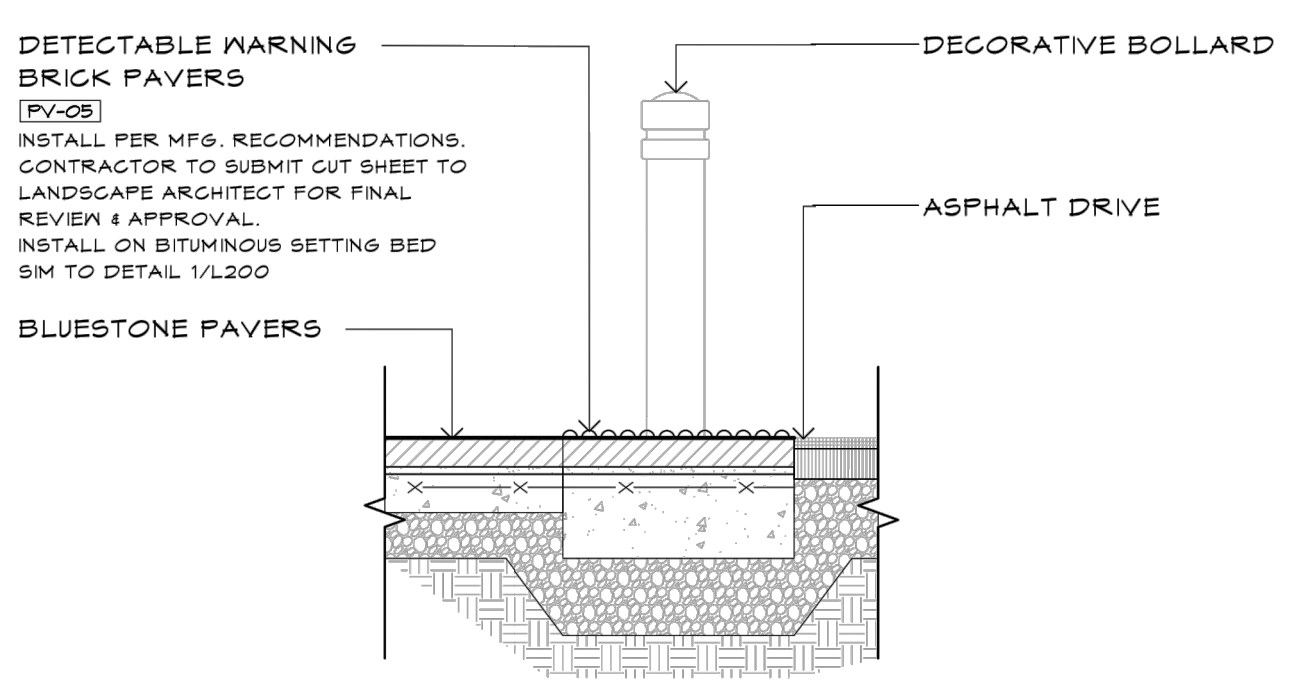
DECORATIVE BOLLARD [RA-02] INSTALL PER MFG. RECOMMENDATIONS. CONTRACTOR TO SUBMIT CUT SHEET TO LANDSCAPE ARCHITECT FOR FINAL REVIEW & APPROVAL.

DETAIL: DECORATIVE BOLLARD

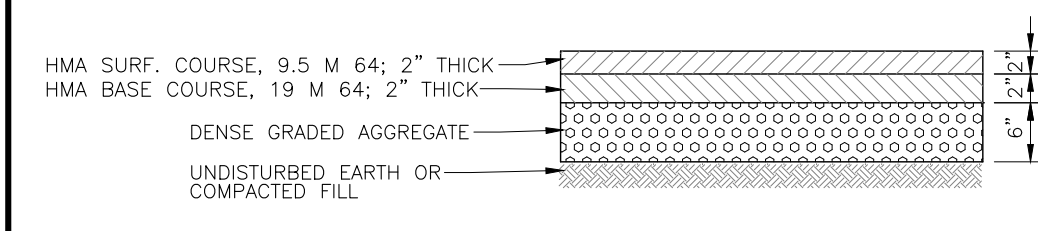


NOTE:  
 ALL PAVEMENT LAYOUTS SHALL BE LAID OUT USING CHALK LINES TO IDENTIFY ANY ADJUSTMENTS THAT SHOULD BE MADE PRIOR TO INSTALLING PAVERS. FIELD ADJUSTMENTS CAN BE MADE NECESSARY TO ELIMINATE SMALL SLIVERS, UNEQUAL CUTS, ETC. CONTACT L.A./OWNER'S REP. TO RESOLVE ANY CONCERNS PRIOR TO INSTALLATION. SNAPE JOINTS WITH GRAY POLYMERIC SAND.

SECTION: BLUESTONE PAVERS

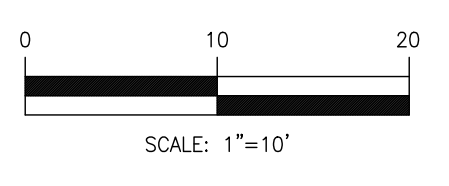


DETAIL: DETECTABLE WARNING PAVER

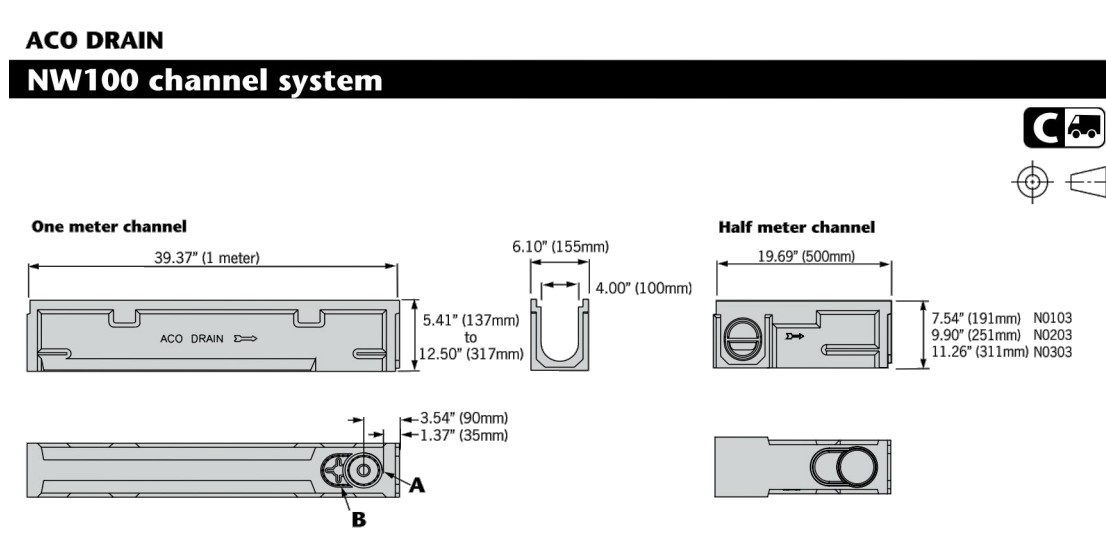


PAVING DETAIL (ON SITE)

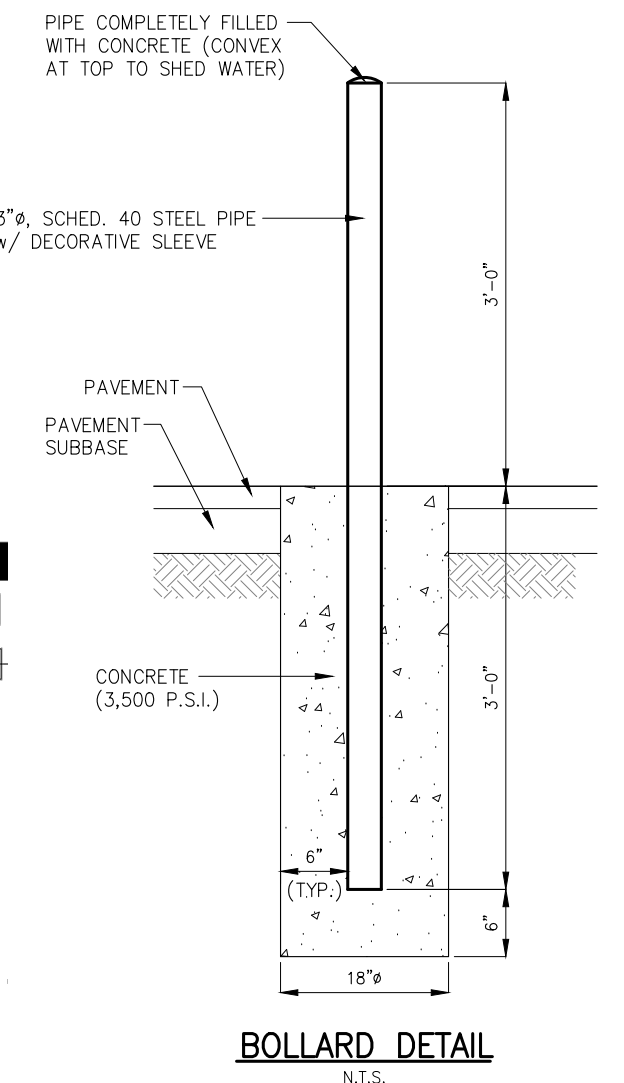
GRADING & DRAINAGE PLAN



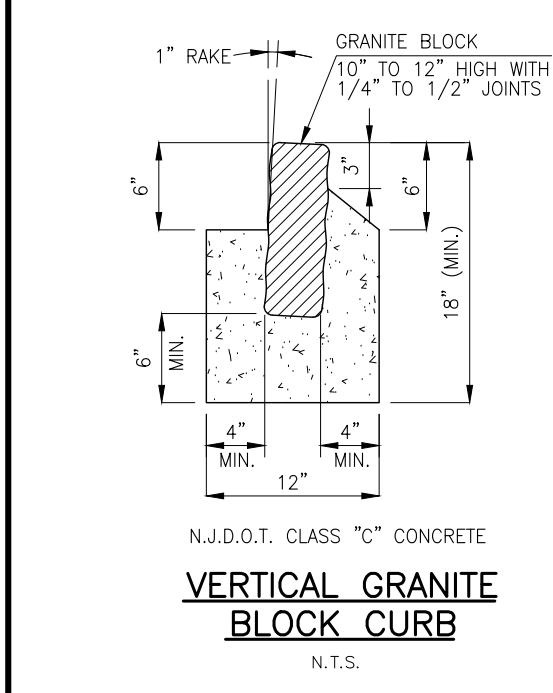
NOTES  
 1) ITEMS SHOWN IN BLUE PREVIOUSLY APPROVED AND UNDER CONSTRUCTION.  
 2) SEE LANDSCAPE PLAN PREPARED BY MBC LANDSCAPE ARCHITECT FOR PLANTING AND ADDITIONAL DETAILS AND CONSTRUCTION ITEMS.



TRENCH DRAIN DETAIL N.T.S.



BOLLARD DETAIL N.T.S.



VERTICAL GRANITE BLOCK CURB N.T.S.

NO.	REVISIONS	DATE	BY	CHKD

GRADING & DRAINAGE PLAN; DETAILS

LOT 1 DRIVWAY AND PATIO RECONSTRUCTION No. 1 WEST MAIN STREET BLOCK 0301

BOROUGH OF MENDHAM MORRIS COUNTY NEW JERSEY

APPLICANT: VILLA RESTAURANT GROUP  
 25 WASHINGTON STREET  
 MORRISTOWN NJ, 07960

MICHAEL J. HUBSCHMAN P.E., P.P.  
 PROFESSIONAL ENGINEER AND PLANNER  
 N.J.P.E. NO. 29497 N.J.P.P. NO. 3200

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 263A S. WASHINGTON AVE., BERGENFIELD, NJ 07621  
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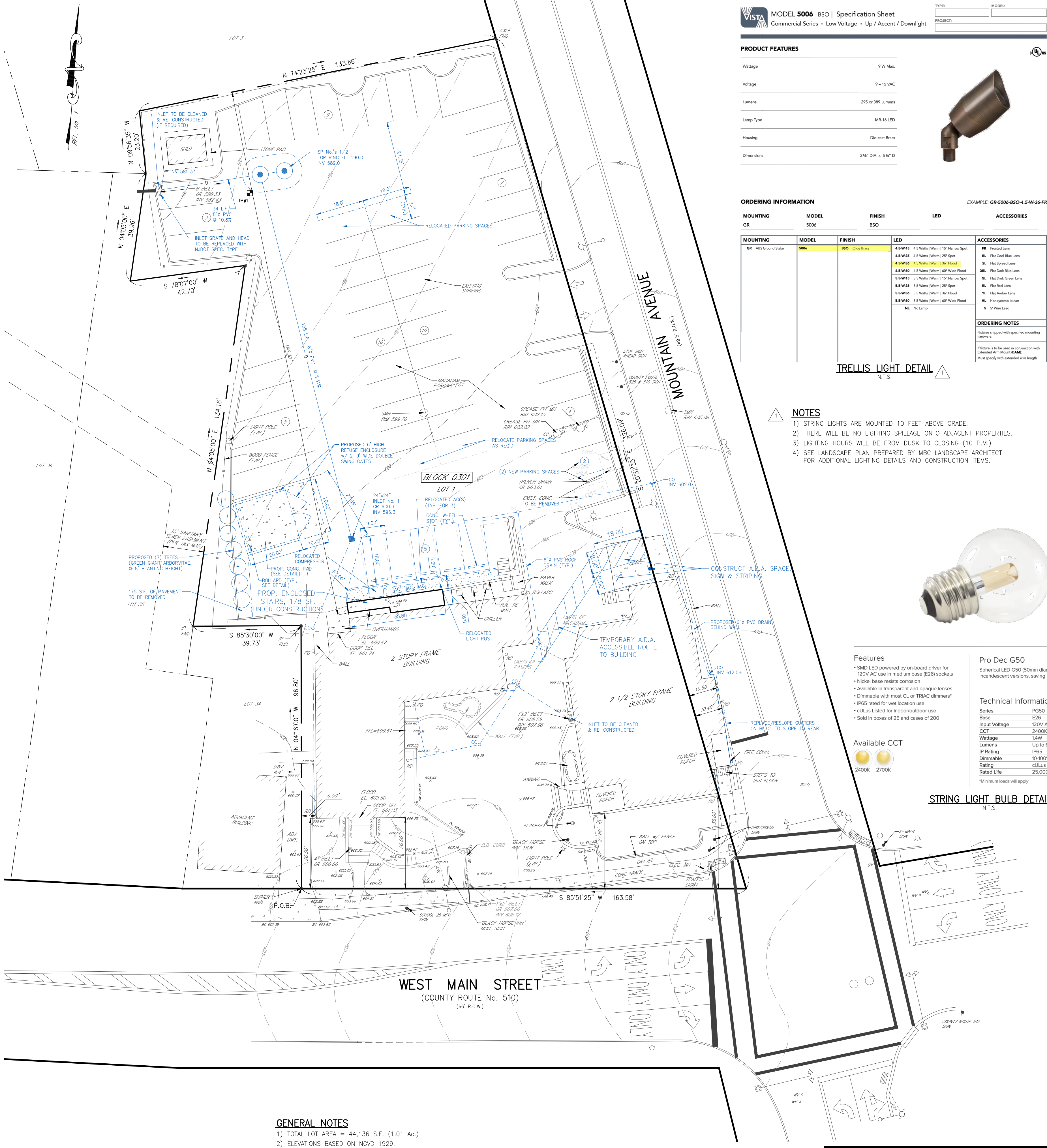
DRAWN BY: B.W.  
 CHKD BY: MJH  
 SCALE: 1"=20'  
 DRAWING NO. 3703-7  
 2 OF 3



**LIST OF PROPERTY OWNERS WITHIN 200' RADIUS**

PARCELS WITHIN RANGE OF TARGETED PROPERTIES:				
PAMS_PIN	Acres	Property Location	Owners Name	Mailing Address
1418_1501_1	0.3600	1 E MAIN ST	ONE MAIN STREET LLC	7 BUDDY LN MORRISTOWN, NJ 07960
1418_1501_2	0.1000	4 HILLTOP RD	JAS MENDHAM LLC	4 HILLTOP RD MENDHAM, NJ 07945
1418_1501_3	0.2100	5 E MAIN ST	POGGI, JARROD	26 COLD HILL RD MENDHAM, NJ 07945
1418_1902_22	0.2500	3 HILLTOP RD	PASTIME CLUB, INC	3 HILLTOP RD MENDHAM, NJ 07945
1418_1902_22_BLDG	0.2500	3 HILLTOP RD	PASTIME CLUB, INC	3 HILLTOP RD MENDHAM, NJ 07945
1418_1902_23	0.1000	1 HILLTOP RD	ONE HILLTOP PROPERTIES LLC	40 POTTERSTOWN RD LEBANON, NJ 08833
1418_1902_24	0.2160	2 W MAIN ST	BOROUGH OF MENDHAM	2 W MAIN ST MENDHAM, NJ 07945
1418_1902_25	undefined		unmatched parcel	undefined
1418_1902_26	0.2300	6 W MAIN ST	BOROUGH OF MENDHAM	6 W MAIN ST MENDHAM, NJ 07945
1418_1902_27	3.5700	8 W MAIN ST	ST JOSEPHS RC CHURCH & SCHOOL	8 W MAIN ST MENDHAM, NJ 07945
1418_301_1	1.0130	1 W MAIN ST	ONE WEST MAIN STREET MENDHAM LLC	25 WASHINGTON ST MORRISTOWN, NJ 07960
1418_301_3	0.4600	4 MOUNTAIN AVE	GRIFO-FREDERICKS, SHELIA	4 MOUNTAIN AVE MENDHAM, NJ 07945
1418_301_31	0.8900	W MAIN ST	CACCHIO, MARY & ELIZABETH	PO BOX 147 MENDHAM, NJ 07945
1418_301_32	0.6150	3 MARSHALL TER	HOAGLAND, GEORGE W & JOAN F	3 MARSHALL TER MENDHAM, NJ 07945
1418_301_33	0.3700	1 MARSHALL TER	MARKS, TINA MARIA	1 MARSHALL TER MENDHAM, NJ 07945
1418_301_34	0.0900	5 W MAIN ST	TIFFANY'S GARDEN LLC	5 W MAIN ST MENDHAM, NJ 07945
1418_301_35	0.3400	7 WEST MAIN ST	LA PERGOLA INC	PO BOX 124 NEW VERNON, NJ 07976
1418_301_36	0.4100	9 WEST MAIN ST	9 WEST MAIN LLC	187 WASHINGTON ST MORRISTOWN, NJ 07960
1418_301_37	0.5700	11 W MAIN ST	MENDHAM GARDEN CENTER	11 W MAIN ST MENDHAM, NJ 07945
1418_301_38	0.3500	13 W MAIN ST	13 WEST PROPERTIES LLC	40 POTTERSTOWN RD LEBANON, NJ 08833
1418_301_4	0.5200	6 MOUNTAIN AVE	CACCHIO, MARY	PO BOX 147 MENDHAM, NJ 07945
1418_301_5	0.3600	8 MOUNTAIN AVE	MATTEI, NICHOLAS/LISA	8 MOUNTAIN AVE MENDHAM, NJ 07945
1418_601_1	0.7400	2 E MAIN ST	2 MAIN STREET LLC	7 BUDDY LN MORRISTOWN, NJ 07960
1418_601_2	0.3500	4 E MAIN ST	4 E MAIN MENDHAM LLC	P.O. BOX 110 GLADSTONE, NJ 07934
1418_601_27	0.6300	9 MOUNTAIN AVE	BOBROW, WARREN/JULIE	9 MOUNTAIN AVE MENDHAM, NJ 07945
1418_601_28	0.5000	7 MOUNTAIN AVE	BETZ, BARBARA C	7 MOUNTAIN AVE MENDHAM, NJ 07945
1418_601_29	0.4800	5 MOUNTAIN AVE	SWIENCKI, STEPHEN & JUDITH S	5 MOUNTAIN AVE MENDHAM, NJ 07945
1418_601_30	0.2200	3 MOUNTAIN AVE	THREE MOUNTAIN AVE LLC	3 MOUNTAIN AVE MENDHAM, NJ 07945

- UTILITIES**
- JCP&L, c/o FE Serv. Tax Dept. P.O. Box 1911 Morristown, NJ 07962-1911
  - Verizon, c/o Duff & Phelps PO Box 2749 Addison, TX 75001
  - AT&T 900 Route 202/206 North Bedminster, NJ 07921
  - Public Service Electric & Gas Co. 80 Park Plaza Newark, NJ 07102
  - Morris County Planning Board PO Box 900 Morristown, NJ 07963-0900
  - American Water SSC/General Tax Dept. P.O. Box 5627 Cherry Hill, NJ 08034
  - Mendham Borough Sewer Utility 35 Iremia Rd. Mendham, NJ 07945
  - Comcast 300 Railway Ave. Union, NJ 07083
  - Cablevision, Attn: Kathy Baker 683 Route 10 Randolph, NJ 07869



**VISTA MODEL 5006-BSO | Specification Sheet**  
Commercial Series - Low Voltage - Up / Accent / Downlight

**PRODUCT FEATURES**

Wattage	9 W Max.
Voltage	9 - 15 VAC
Lumens	295 or 389 Lumens
Lamp Type	MR-16 LED
Housing	Die-cast Brass
Dimensions	2 1/2" DIA x 5 1/4" D

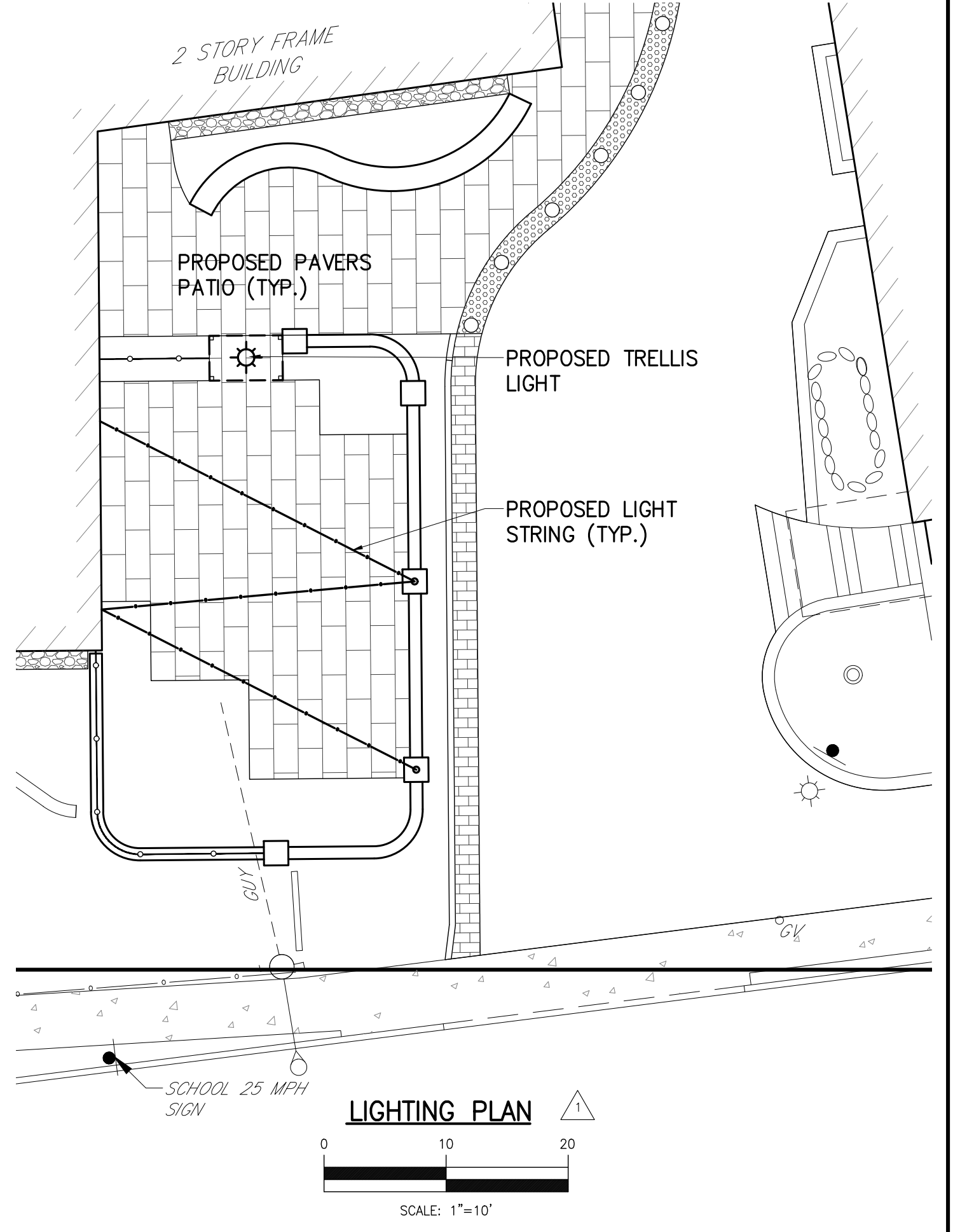
**ORDERING INFORMATION**

EXAMPLE: GR-5006-BSO-4.5-W-36-FR

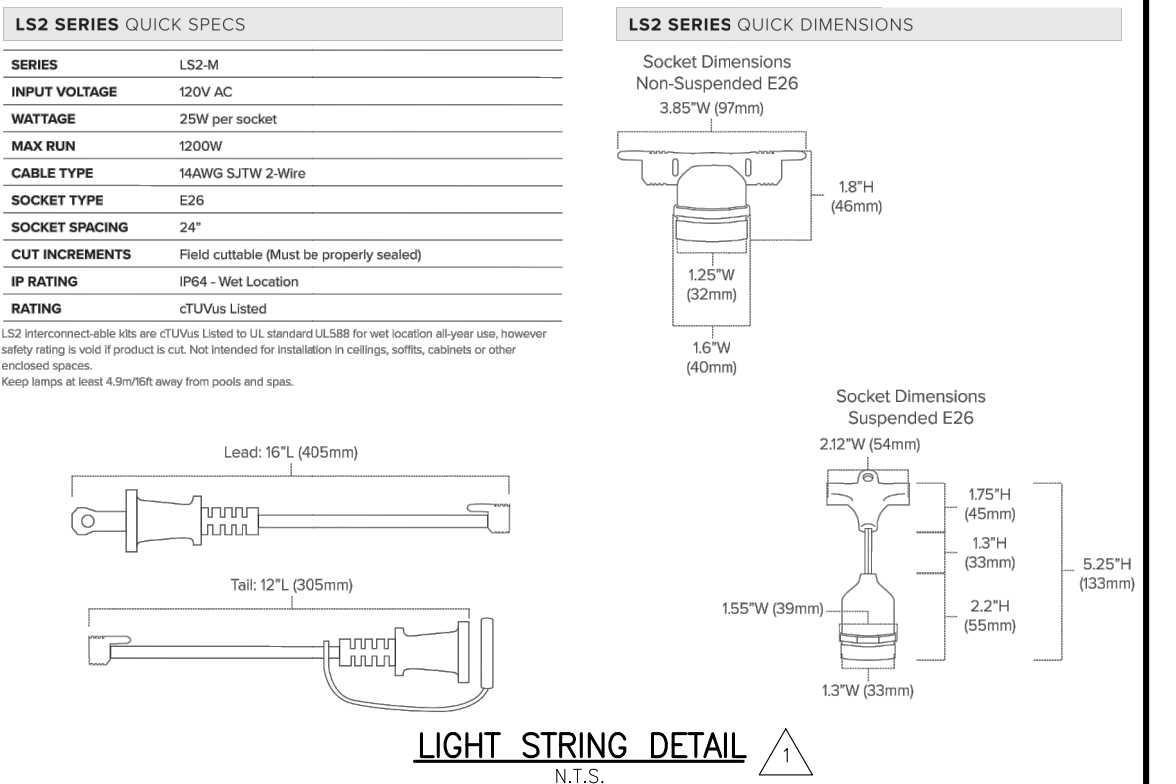
MOUNTING	MODEL	FINISH	LED	ACCESSORIES
GR - ABS Ground Stake	5006	BSO - 1200-Brush	4.5-W-15 - 4.5 Watts (Warm)   10" Warm Spot 4.5-W-25 - 4.5 Watts (Warm)   20" Spot 4.5-W-30 - 4.5 Watts (Warm)   30" Flood	FR - Frosted Lens BL - Flat Cool Blue Lens SL - Flat Warm Lens DL - Flat Dark Blue Lens GL - Flat Dark Green Lens ML - Flat Red Lens YL - Flat Amber Lens HL - Honeycomb Lens S - 5" White Lead

**TRELLIS LIGHT DETAIL**  
N.T.S.

- NOTES**
- 1) STRING LIGHTS ARE MOUNTED 10 FEET ABOVE GRADE.
  - 2) THERE WILL BE NO LIGHTING SPILLAGE ONTO ADJACENT PROPERTIES.
  - 3) LIGHTING HOURS WILL BE FROM DUSK TO CLOSING (10 P.M.)
  - 4) SEE LANDSCAPE PLAN PREPARED BY MBC LANDSCAPE ARCHITECT FOR ADDITIONAL LIGHTING DETAILS AND CONSTRUCTION ITEMS.



- Features**
- SMD LED powered by on-board driver for 120V AC use in medium base (E26) sockets
  - Nickel base resists corrosion
  - Available in transparent and opaque lenses
  - Dimmable with most CL or TRIAC dimmers\*
  - IP65 rated for wet location use
  - cULus Listed for indoor/outdoor use
  - Sold in boxes of 25 and cases of 200
- Pro Dec G50**  
Spherical LED G50 (50mm diameter) lamps for direct replacement of 10W incandescent versions, saving 88% in running costs.
- Technical Information**
- |               |                                     |
|---------------|-------------------------------------|
| Series        | P550                                |
| Base          | E26                                 |
| Input Voltage | 120V AC, 60Hz                       |
| CCT           | 2400K / 2700K                       |
| Wattage       | 1.0W                                |
| Lumens        | Up to 60lm (see individual product) |
| IP Rating     | IP65                                |
| Dimmable      | Yes/No*                             |
| Rating        | cULus Listed for indoor/outdoor use |
| Rated Life    | 25,000 hrs                          |
- Available CCT**  
3400K 2700K



- GENERAL NOTES**
- 1) TOTAL LOT AREA = 44,136 S.F. (1.01 Ac.)
  - 2) ELEVATIONS BASED ON NGVD 1929.
  - 3) OWNER OF RECORD: ONE WEST MAIN STREET, LLC 25 WASHINGTON STREET MORRISTOWN, NJ 07960

**ROBERT J. MUELLER**  
PROFESSIONAL LAND SURVEYOR  
N.J. LIC. NO. 37206

**MICHAEL J. HUBSCHMAN P.E., P.P.**  
PROFESSIONAL ENGINEER AND PLANNER  
N.J.P.E. NO. 29497 N.J.P.P. NO. 3200

1	ADDED LIGHTING	1-31-25	B.W.	M.J.H.
NO	REVISIONS	DATE	BY	CHKD

**EXISTING CONDITIONS PLAN; LIGHTING PLAN & DETAILS**

LOT 1 **DRIVEWAY AND PATIO RECONSTRUCTION No. 1 WEST MAIN STREET** BLOCK 0301

BOROUGH OF MENDHAM MORRIS COUNTY NEW JERSEY

APPLICANT: VILLA RESTAURANT GROUP  
25 WASHINGTON STREET MORRISTOWN NJ, 07960

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201-384-5666

DRAWN BY: B.W.  
CHKD BY: MJH  
SCALE: 1"=20'  
DRAWING NO. **3703-8** REV. 1  
3 OF 3

