

CERTIFICATIONS/APPROVALS

THIS PLAN IS HEREBY APPROVED BY THE ZONING BOARD OF

MUNICIPALITY

GENERAL NOTES

- OWNER/APPLICANT 6 MAIN STREET MENDHAM, LLC C/O JAY GRANT 7 BUDDY LANE MORRISTOWN, NJ 07960 PHONE: (973) 543 - 2021
- BOUNDARY INFORMATION SHOWN HEREON WAS TAKEN FROM A MAP ENTITLED "MAP OF SURVEY, BLOCK 601, LOT 3, BOROUGH OF MENDHAM, MORRIS COUNTY, NEW JERSEY", PREPARED BY TEMPLIN ENGINEERING ASSOCIATES, DATED NOVEMBER 09, 2018.
 - TOPOGRAPHIC INFORMATION SHOWN HEREON WAS TAKEN FROM A MAP ENTITLED "TOPOGRAPHIC SURVEY", PREPARED BY ENGINEERING & LAND PLANNING ASSOCIATES, INC., DATED 09/03/19.
- THESE PLANS ARE NOT TO BE USED AS SURVEYS. REFER TO REFERENCE SOURCES FOR BOUNDARY AND TOPOGRAPHIC INFORMATION (NOTE # 2 ABOVE).
- VERTICAL CONTROL FOR THIS PROJECT IS BASED ON AN ASSUMED DATUM AND RELATIVE TO THIS PROJECT ONLY.

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	2000 Feet	601	
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THE SUBJECT PARCEL, BLOCK 601, LOT 3, MENDHAM BOROUGH CONSISTS OF 21,108 S.F. (0.48 ACRES).

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- THIS PROJECT IS NOT A MAJOR STORMWATER DEVELOPMENT PER N.J.A.C. 7:8.
- SEE ENGINEERING DETAIL SHEETS FOR ALL SITE DETAILS AND SUPPORTING NOTES.
- THE LOCATION, TYPE, LINE, SIZE, DEPTH, ETC. OF ALL EXISTING UTILITIES, ARE APPROXIMATE. LOCATION OF SERVICE LATERALS MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND AT HIS OWN EXPENSE PRIOR TO THE START OF CONSTRUCTION.
- NOTICE TO BE SERVED FROM CERTIFIED LIST OBTAINED FROM MENDHAM BOROUGH

- WEIND		H ZONING REC	A O II VEIVIEI VIO	T
ITEM	REQUIRED	EXISTING PROPOSED		VARIANCE REQUESTED
ZONING DISTRICT		HISTORIC BUS	SINESS ZONE *	•
MAX. FAMILIES PER LOT	2	0	7	V
MIN. LOT AREA (AC.)	0.50 AC.	0.48 AC.	0.42 AC. ⁽⁵⁾	V (ENC)
MIN. LOT WIDTH (FT)	100 FT	75.8 FT	75.8 FT	ENC
IILDING SETBACKS FOR PRINCIPAL STF	RUCTURE **			
FRONT YARD SETBACK (FT) (2)	20 FT	24.04 FT ⁽¹⁾	24.04 FT	-
SIDE YARD SETBACK (FT) (3)	10 FT	2.51 FT	0.77 FT	V
REAR YARD SETBACK (FT) (4)	20 FT	91.01 FT	22.95 FT	-
JILDING SETBACKS FOR ACCESSORY S	TRUCTURE **			
FRONT YARD SETBACK (FT) (2)	20 FT	> 20 FT	N/A	-
SIDE YARD SETBACK (FT) (3)	15 FT	0.77 FT	N/A	-
REAR YARD SETBACK (FT) (4)	15 FT	22.95 FT	N/A	-
MAX. LOT COVERAGE	65 %	76.7 %	84.7 %	V
MAX. BUILDING HEIGHT (FT)	40 FT	< 40 FT	< 40 FT	_

VARIANCES

INDICATES THAT A VARIANCE IS REQUIRED

INDICATES NO VARIANCE IS REQUIRED INDICATES AN EXISTING NON-CONFORMING CONDITION

* d(1) VARIANCE REQUIRED FOR PROPOSED USE.

d(3) VARIANCE REQUIRED. (PROJECT DOES NOT MEET ALL CONDITIONS OF MULTIFAMILY CONDITIONAL USE)

d(5) VARIANCE REQUIRED FOR EXCEEDING MAXIMUM OF 2 FAMILIES PER LOT.

**EXISTING BARN AND GARAGE BUILDINGS ARE CURRENTLY ACCESSORY STRUCTURES. THE PROJECT PROPOSES TO CONVERT BARN AND GARAGE INTO PRINCIPAL STRUCTURES FOR RESIDENTIAL USE.

- (1) AS MEASURED TO ROAD EASEMENT.
- (2) FRONT YARD IS DEFINED AS THE SPACE EXTENDING THE FULL WIDTH OF A LOT BETWEEN THE SIDELINE OF THE TRAVELED WAY OF ANY STREET AND THE NEAREST PART OF THE PRINCIPAL BUILDING ON THE LOT.
- (3) SIDE YARD IS DEFINED AS THE SPACE FROM THE REAR YARD TO THE FRONT YARD BETWEEN EITHER SIDE LOT LINE AND THE NEAREST PART OF ANY BUILDING ON THE LOT.
- (4) REAR YARD IS DEFINED AS THE SPACE EXTENDING THE FULL WIDTH OF A LOT BETWEEN THE REAR LOT LINE AND THE NEAREST PART OF ANY BUILDING ON THE LOT.
- (5) LOT AREA EXCLUDES PROPOSED R.O.W. DEDICATION AND ROAD EASEMENT TO MORRIS COUNTY.

PRELIMINARY AND FINAL MAJOR SITE PLAN

6 EAST MAIN STREET

BLOCK 601, LOT 3 MENDHAM BOROUGH MORRIS COUNTY, NEW JERSEY

PREPARED BY

ENGINEERING & LAND PLANNING ASSOCIATES, INC.

140 WEST MAIN STREET, HIGH BRIDGE, NEW JERSEY 08829

MINIMUM OFF-STREET PARKING

125 - ATTACHMENT 1: MAXIMUM FAMILIES PER LOT IS 2. (d(5))

195 -45A:

VARIANCE REQUESTED FOR 7 RESIDENTIAL UNITS ON SUBJECT LOT.

125 - ATTACHMENT 1: MINIMUM REQUIRED LOT AREA IS 0.50 ACRES.

EXISTING NON-CONFORMING CONDITION. VARIANCE REQUIRED DUE TO RIGHT OF WAY DEDICATION AND ROAD EASEMENT TO MORRIS COUNTY. EXISTING LOT AREA IS 0.48 ACRES. PROPOSED LOT AREA IS 0.42 ACRES.

125 - ATTACHMENT 1: MAXIMUM PERMITTED LOT COVERAGE IS 65%.

EXISTING LOT COVERAGE IS 76.7%. PROPOSED LOT COVERAGE IS 84.7%.

125 - ATTACHMENT 2: MINIMUM REQUIRED SIDE YARD SETBACK FOR PRINCIPAL STRUCTURE IS 20 FEET.

> THE EXISTING SIDE YARD SETBACK IS 2.51 FEET. THE PROPOSED SIDE YARD SETBACK IS 0.77 FEET DUE TO ACCESSORY STRUCTURES BEING CONVERTED TO PRINCIPAL STRUCTURES.

STALLS REQUIRED IS 39 STALLS. 4 PARKING STALLS ARE PROPOSED.

VARIANCE REQUESTED FOR PROPOSED DEFICIT OF 35 PARKING

LOT 16 IS CURRENTLY A PUBLIC PARKING LOT CONTAINING 56 EXISTING PARKING STALLS. THE **BOROUGH COUNCIL HAS AGREED** TO PROVIDE A LICENSE FOR 10 **OVERNIGHT PARKING PERMITS FOR** THE 7 RESIDENTS APPROVED IN CONJUNCTION WITH 6 EAST MAIN STREET (RESOLUTION #095-2020).

215 - 8D -1(c): MAXIMUM HEIGHT OF FREESTANDING SIGN SHALL NOT **EXCEED 10 FEET ABOVE EXISTING** GRADE.

> VARIANCE REQUESTED FOR EXISTING FREESTANDING SIGN **BEING APPROXIMATELY 12 FEET** ABOVE EXISTING GRADE. THIS IS AN EXISTING NON-CONFORMING CONDITION. EXISTING SIGN TO REMAIN ON-SITE AND RELOCATED AS SHOWN ON THESE PLANS. NO CHANGES TO THE SIGN HEIGHT ARE PROPOSED.

PLAN INDEX SHEET No. TITLE **COVER SHEET** LEGEND AND NOTES **EXISTING CONDITIONS PLAN** DEMOLITION PLAN SITE PLAN SIGNAGE PLAN GRADING & DRAINAGE PLAN UTILITY PLAN LIGHTING & LANDSCAPING PLAN 10. SESC PLAN 11. SESC NOTES & DETAILS SESC DETAILS 13. **CONSTRUCTION DETAILS** 14. **CONSTRUCTION DETAILS**

DESIGN WAIVER

195 - 57.5G: LIGHTING LEVELS AT ALL PROPERTY LINES SHALL NOT EXCEED 0.1 FOOTCANDLE EXCEPT WHERE

DRIVEWAYS MEET A PUBLIC STREET. WAIVER REQUESTED FOR LIGHTING LEVELS AT PROPERTY LINES TO EXCEED 0.1 FOOT CANDLE DUE TO THE CLOSE PROXIMITY OF THE RESIDENTIAL UNITS TO THE PROPERTY LINES

OUTSIDE AGENCY APPROVALS:

- MORRIS COUNTY PLANNING BOARD MENDHAM BOROUGH COUNCIL (SEWER CAPACITY AND OFF-SITE
- PARKING ON BLOCK 601, LOT 16) MORRIS COUNTY SOIL CONSERVATION DISTRICT

SIGNAGE SCHEDULE

	•						
	SI	GNAGE SUMMARY	TABLE				
	ITEM	EXISTING SIGNS LOT 3	PROPOSED SIGNS LOT 3				
	TRAFFIC /PARKING SIGNS	8	7				
	FREESTANDING SITE ID SIGN	1	1				
	BUILDING MOUNTED SIGNS	5	8				
	TOTAL	14	16				

PROPERTY OWNER P.O. BOX 1911 JCP&L, C/O MORRISTOWN FE SERV. TAX DEPT. NJ 07962-1911

ADDRESS

MORRISTOWN

NJ 07963-0900

ADDITIONAL PARTIES TO BE NOTIFIED

P.O. BOX 5627 AMERICAN WATER SSC/GENERAL TAX DEP CHERRY HILL, NJ 08034 P.O. BOX 2749 VERIZON, C/C **DUFF & PHELPS** ADDISON, TX 75001 35 IRONIA ROAD MENDHAM BOROUGH SEWER UTILITY MENDHAM, NJ 07945 900 ROUTE 202/206 NORTH AT&T BEDMINSTER, NJ 07921 300 RAHWAY AVENUE COMCAST UNION, NJ 07083 80 PARK PLAZA PUBLIC SERVICE NEWARK, NJ 07102 **ELECTRIC & GAS CO** 683 ROUTE 10 CABLEVISION ATTN: KATHY BAKER RANDOLPH, NJ 07869 P.O. BOX 900 MORRIS COUNTY

PLANNING BOARD

PARKING SCHEDULE	
PARKING REQUIRED:	STALLS REQ.:
PER ORDINANCE SECTION 195 - 45A:	
4,026 SF RETAIL (6 PARKING STALLS REQ. / 1,000 SF)	25 STALLS
PER RSIS N.J.A.C. 5:21 - 4.14	
(5) 2-BR APARTMENT UNITS (2 STALLS REQ. / UNIT)	10 STALLS
(2) 1-BR APARTMENT UNITS (1.8 STALLS REQ. / UNIT)	4 STALLS
TOTAL STALLS REQUIRED	39 STALLS
ADA STALLS REQUIRED:	
PER 28 CFR PART 36 SECTION 4.1.2:	
1 - 25 STALLS TOTAL (LOT 3)	1 ADA STALL
PARKING PROVIDED ON-SITE:	
(3) 9' X 18' STALL PROPOSED	

LOADING SCHEDULE

LOADING REQUIRED: PER ORDINANCE SECTION 195 - 46A. TABLE 5: 5,000 S.F. RETAIL REQUIRES (1) 12' X 35' LOADING BERTH LOADING PROVIDED: (1) 12' X 35' LOADING BERTH

(1) 8' X 8' ADA STALL PROPOSED

(W/ VAN 8' ACCESSIBILITY)

MORRIS COUNTY PLANNING BAORD

THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND EACH DRAWING HAS BEEN MARKED "ISSUED FOR CONSTRUCTION."

200 FT CERTIFIED OWNERS' LIST

7 BUDDY LANE

MORRISTOWN, NJ 07960

4 HILLTOP ROAD

MENDHAM, NJ 07945

26 COLD HILL ROAD

MENDHAM, NJ 07945

7 EAST MAIN STREET

MENDHAM, NJ 07945

59 BUOY STREET

JAMESTOWN, RI 02835

15 EAST MAIN STREET

MENDHAM, NJ 07945

7 BUDDY LANE

MORRISTOWN, NJ 07960

2 WEST MAIN STREET

MENDHAM, NJ 07945

P.O. BOX 110

GLADSTONE, NJ 07934

7 MOUNTAIN AVENUE

MENDHAM, NJ 07945

5 MOUNTAIN AVENUE

MENDHAM, NJ 07945

6 EAST MAIN STREET

MENDHAM, NJ 07945

21 BRIDGE AVENUE

BAY HEAD, NJ 08472

P.O. BOX 100

FAR HILLS, NJ 07931

10 EAST MAIN STREET

MENDHAM, NJ 07945 P.O. BOX 900

MORRISTOWN

NJ 07963-0900

PROPERTY OWNER

ONE MAIN STREET LLC

JAS MENDHAM LLC

POGGI, JARROD

ST MARKS, RECTOR

WARDENS & VESTRY

WEIJLARD, RALPH R SR TRUS /

RALPH R JR

MOORMANN, RICHARD

2 MAIN STREET LLC

BOROUGH OF MENDHAM

4 E MAIN MENDHAM LLC

BETZ, BARBARA C

SWIENCKI, STEPHEN & JUDITH S

SIX6 MAIN STREET MENDHAM LLC

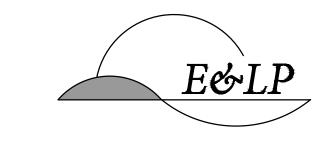
DERRICK RICHARD E TRUS /

CAROL H TRUS

TURPIN, MARGERY D TRUS

MENDHAM METHODIST CHURCH

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140 WEST MAIN STREET HIGH BRIDGE, NJ 08829 PH. 908-238-0544 FAX. 908-238-9572

	A PROFESSIONAL ASSOCIATION					
C	CERTIFICATE OF AUTHORIZATION NO.: 24GA2802	1500 EXP. 8/3	31/2020			
3	REV. PER BOROUGH COMMENTS	EM	6/23/202			
2	REV. PER BOROUGH COMMENTS	EM	5/19/202			
1	REV. PER ENGINEER CERTIFICATION	EM	10/22/1			

REVISION

6/23/2020 DATE JOHN HANSEN PROFESSIONAL ENGINEER N.J. P.E. NO. 24GE04194500

PROJECT:

6 EAST MAIN STREET PRELIMINARY AND FINAL MAJOR SITE PLAN BLOCK 601, LOT 3 MENDHAM BOROUGH

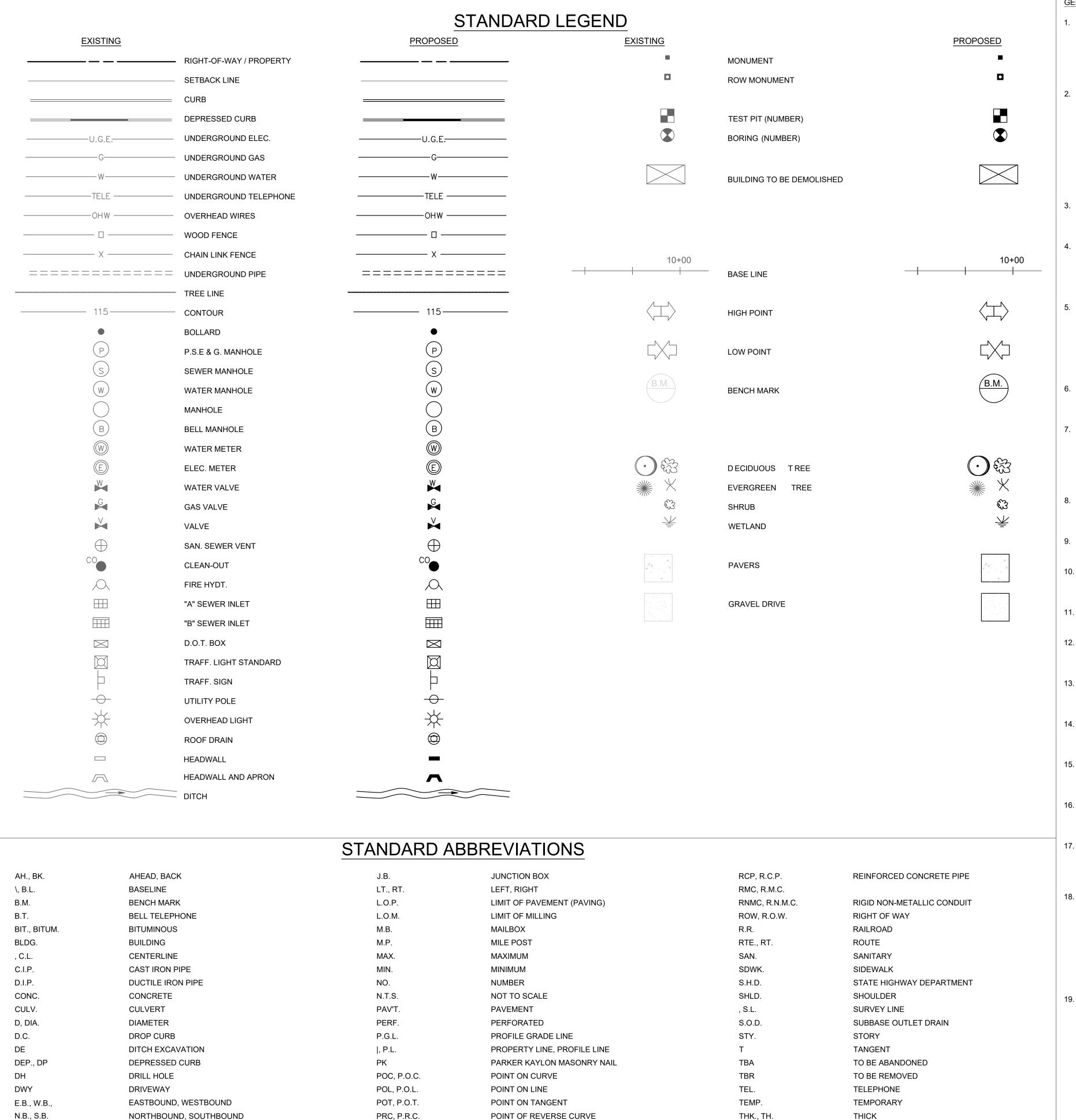
NEW JERSEY MORRIS COUNTY

COVER SHEET

19135

N.T.S. EM CHECKED: 01 COVER.DWG 09/09/2019

BY DATE



EL., ELEV

EXIST.

ELEVATION

EXISTING

GRATE

HEIGHT

HEADWALL

HYDRANT

INVERT

IRON PIN

PROP.

PT, P.T.

PVC, P.V.C.

PVI, P.V.I.

PVT, P.V.T.

RCCP, R.C.C.P.

PROPOSED

RADIUS

POINT OF TANGENCY

POLYVINYL CHLORIDE PIPE,

POINT OF VERTICAL CURVATURE

POINT OF VERTICAL INTERSECTION

POINT OF VERTICAL TANGENCY, PAVEMENT

REINFORCED CONCRETE CULVERT PIPE

TYP.

U.D.

UP, U.P.

VAR.

WM

TYPICAL

UNDERDRAIN

VARIABLE, VARIES

WATER METER

UTILITY POLE

GENERAL NOTES:

- APPLICANT: 6 MAIN STREET MENDHAM, LLC C/O JAY GRANT 7 BUDDY LANE MORRISTOWN, NJ 07960 PHONE: (973) 543 - 2021
- BOUNDARY INFORMATION SHOWN HEREON WAS TAKEN FROM A MAP ENTITLED "MAP OF SURVEY, BLOCK 601, LOT 3, BOROUGH OF MENDHAM, MORRIS COUNTY, NEW JERSEY", PREPARED BY TEMPLIN ENGINEERING ASSOCIATES. DATED NOVEMBER 09, 2018.
- TOPOGRAPHIC INFORMATION SHOWN HEREON WAS TAKEN FROM A MAP ENTITLED "TOPOGRAPHIC SURVEY", PREPARED BY ENGINEERING & LAND PLANNING ASSOCIATES, INC., DATED
- THESE PLANS ARE NOT TO BE USED AS SURVEYS. REFER TO REFERENCE SOURCES FOR BOUNDARY AND TOPOGRAPHIC INFORMATION (NOTE # 2 ABOVE).
- THE CONTRACTOR SHALL CONFINE ALL CONSTRUCTION ACTIVITIES TO WITHIN THE LIMIT OF WORK AND/OR THE RIGHT-OF-WAY. ALL DISTURBED AREAS ARE TO BE RESTORED TO EXISTING CONDITIONS OR AS INDICATED IN THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES AND IMPROVEMENTS WITHIN THE PROJECT LIMITS AND RIGHT-OF-WAY. THESE FEATURES INCLUDE BUT ARE NOT LIMITED TO TREES, SHRUBS, LANDSCAPING, DRIVEWAYS, MAILBOXES, SIGNAGE, CURBING, SIDEWALKS, UTILITIES, JUNCTION BOXES, POLES, LIGHTING, HYDRANTS, VALVE BOXES, AND STRIPPING.
- THE CONTRACTOR SHALL OBTAIN ALL CONSTRUCTION PERMITS REQUIRED BY LOCAL, COUNTY OR STATE JURISDICTIONS PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE BOROUGH AND MUNICIPAL ENGINEER'S OFFICE 72 HOURS PRIOR TO THE START OF WORK. THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE AGENCIES PRIOR TO THE START OF CONSTRUCTION AND AS NECESSARY THROUGH PROJECT COMPLETION.
- HOURS OF WORK SHALL BE RESTRICTED TO ORDINANCE REQUIREMENTS, UNLESS OTHERWISE PERMITTED BY
- 9. THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS BEFORE BEGINNING CONSTRUCTION.
- 10. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF THE PROJECT SITE, CONTRACTOR PROPERTY, EQUIPMENT, AND
- STREETS MUST BE CLEAN OF DIRT AND DEBRIS AT THE END OF EACH WORK WEEK.
- 12. ANY DAMAGE TO THE PUBLIC ROAD DURING CONSTRUCTION SHALL BE REPLACED TO THE SATISFACTION OF THE COUNTY PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- 13. PRIOR TO CONSTRUCTION, THE CONTRACTOR, ALONG WITH CONCURRENCE FROM THE OWNER, SHALL DETERMINE HIS/HER LAY-DOWN AND/OR STAGING AREA LOCATIONS.
- 14. TRAFFIC INGRESS AND EGRESS FOR DRIVEWAYS AND PEDESTRIAN ACCESS FACILIES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- 15. PROPERTY MARKERS DISTURBED DURING CONSTRUCTION ARE TO BE REPLACED BY A REGISTERED PUBLIC LAND SURVEYOR FOR THE ORIGINAL PROPERTY OWNER AT NO COST TO OWNER.
- 16. THE CONTRACTOR SHALL MAINTAIN UPDATED RED-LINED RECORD DRAWINGS ON SITE FOR INSPECTION BY THE ENGINEER.
- MAINTENANCE AND CLEAN-UP OF THE PROJECT IS REQUIRED FOR THE PROJECT LIMITS AND DURATION, REGARDLESS OF THE CONTRACTOR'S SCOPE OF ACTIVITIES WITHIN THE PROJECT LIMITS.
- 18. THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE CONTRACTOR SHALL BE RESPONSIBLE TO INSURE "ON THE JOB" SAFETY FOR HIS EMPLOYEES, EMPLOYEES OF THE OWNER AND ALL OTHER PERSONS HAVING AUTHORIZED OR UNAUTHORIZED ACCESS TO THE WORK AND THE PUBLIC. CONTRACTOR SHALL PERFORM HIS WORK IN A SAFE MANNER AND IN COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
- 19. THE LOCATION, TYPE, SIZE, DEPTH, ETC. OF ALL EXISTING UTILITIES ARE APPROXIMATE AND MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND AT HIS OWN EXPENSE PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES OPERATING WITHIN THE CONSTRUCTION SITE 3 DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION FOR ACCURATE FIELD LOCATIONS. FOR UTILITY MARKOUT, CALL 8-1-1 OR [FOR NJ, 1-800-272-1000]. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGN ENGINEER OF ALL DEVIATIONS OF SITE CONDITIONS AND/OR IF DEPARTURES FROM THE APPROVED DESIGN BECOME NECESSARY DUE TO SUCH DEVIATIONS.
- 20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LINES, ELEVATIONS, AND MEASUREMENTS, EXERCISING PRECAUTION TO VERIFY ALL DIMENSIONS SHOWN ON DRAWING.
- 21. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGN ENGINEER SHOULD DEPARTURES FROM THE APPROVED DESIGN BECOME NECESSARY DUE TO CIRCUMSTANCES WHICH ARISE DURING CONSTRUCTION.

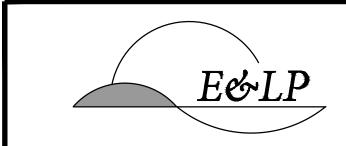
22. THE OWNER IS RESPONSIBLE FOR MAINTAINING BEST MANAGEMENT PRACTICES FOR STORAGE OF DE-ICING MATERIALS. DE-ICING MATERIALS SHALL BE STORED IN ACCORDANCE WITH ALL LOCAL, STATE, & FEDERAL REGULATIONS.

SITE/CIVIL NOTES:

- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING PROPER DRAINAGE OF THE PROJECT SITE AND ALL UPGRADIENT AREAS TO THE SITE.
- CATCHBASIN GRATE AND HEADERS SHALL BE RESET AS REQUIRED TO MATCH FINISH GRADE ELEVATIONS, UNLESS OTHERWISE NOTED OR DIRECTED BY THE ENGINEER PLACEMENT GRATES AND HEADERS SHALL BE ALIGNED WITH ADJACENT CURBING AND PAVEMENT.
- MILLINGS, STONE, SOIL, CONSTRUCTION DEBRIS, AND ALL OTHER RELATED MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR FOR OFF-SITE DISPOSAL
- INADEQUATE INSPECTION OF WORKMANSHIP SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM THE WORK IN ACCORDANCE WITH APPLICABLE PLANS, SPECIFICATIONS AND REGULATIONS AND TO OBTAIN WRITTEN APPROVAL OF MUNICIPAL OFFICIALS, AND ACCEPTANCE OF THE CONSTRUCTION BY THE OWNER.
- ALL CONCRETE USED FOR SITE WORK SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI. OR AS NOTED ELSE WHERE IN DRAWINGS.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES INDIVIDUALLY AND SHALL NOTIFY THE UNDERGROUND UTILITIES NOTIFICATION SERVICE AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF ANY EXCAVATION BY CALLING [1-800-272-1000 IN NJ].
- SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL BE FREE OF ORGANIC AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).
- ALL CONTRACTORS WORKING ON THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF [29 CFR 1926 OSHA CONSTRUCTION INDUSTRY REGULATIONS & STANDARDS].
- ALL CONTRACTORS WORKING ON THIS PROJECT SHALL BE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION ACTIVITIES RELATED TO THIS PROJECT ARE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA (OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION) STANDARDS.
- 10. NO EXCAVATION OR FILL SHALL BE MADE WITH A FACE STEEPER THAN THREE (3) HORIZONTAL TO ONE (1) VERTICAL (3:1) UNLESS A RETAINING WALL, CONSTRUCTED IN ACCORDANCE WITH APPROVED STANDARDS IS PROVIDED TO SUPPORT THE FACE OF SLOPE OF SAID EXCAVATION OR FILL
- 11. BURYING OF TREES, STUMPS, OR CONSTRUCTION MATERIAL IS PROHIBITED. TREES AND STUMPS MAY BE CHIPPED OR GROUND AND SPREAD ON THE SITE.
- 12. SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE AND FUNCTIONING PRIOR TO ANY OTHER DISTURBANCE ON THE SITE.
- 13. EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN DEVELOPED FROM UTILITY COMPANY AS-BUILTS AND OR FIELD SURVEY AT THE SITE. COMPLETENESS AND/OR ACCURACY CANNOT BE GUARANTEED. ALL CONTRACTORS WORKING ON THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF [NEW JERSEY ONE CALL] REGARDING NOTIFICATION OF UNDERGROUND UTILITY USERS PRIOR TO EXCAVATION.

1. THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND EACH DRAWING HAS BEEN MARKED "ISSUED FOR CONSTRUCTION."

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HIGH BRIDGE, NJ 0882 140 WEST MAIN STREET PH. 908-238-0544 FAX. 908-238-9572 A PROFESSIONAL ASSOCIATION

С	CERTIFICATE OF AUTHORIZATION NO.: 24GA28021500 EXP. 8/31/20					
3	REV. PER BOROUGH COMMENTS	EM	6/23/2020			
2	REV. PER BOROUGH COMMENTS	EM	5/19/2020			
1	REV. PER ENGINEER CERTIFICATION	EM	10/22/19			
NO.	REVISION	BY	DATE			

6/23/2020

JOHN HANSEN PROFESSIONAL ENGINEER N.J. P.E. NO. 24GE04194500

PROJECT:

6 EAST MAIN STREET PRELIMINARY AND FINAL MAJOR SITE PLAN BLOCK 601, LOT 3 MENDHAM BOROUGH

MORRIS COUNTY

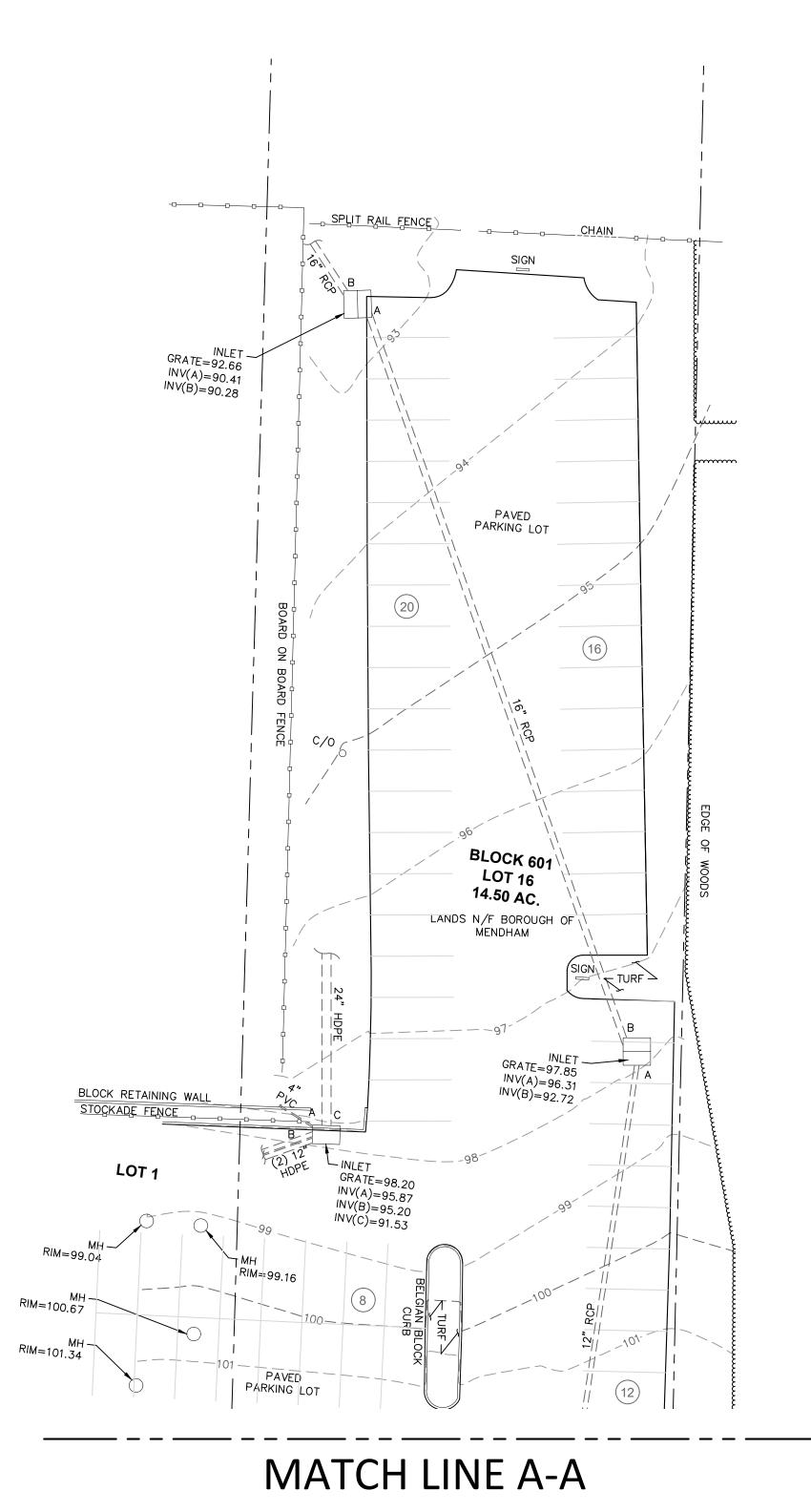
LEGEND AND NOTES

19135 **AS SHOWN** EM CHECKED:

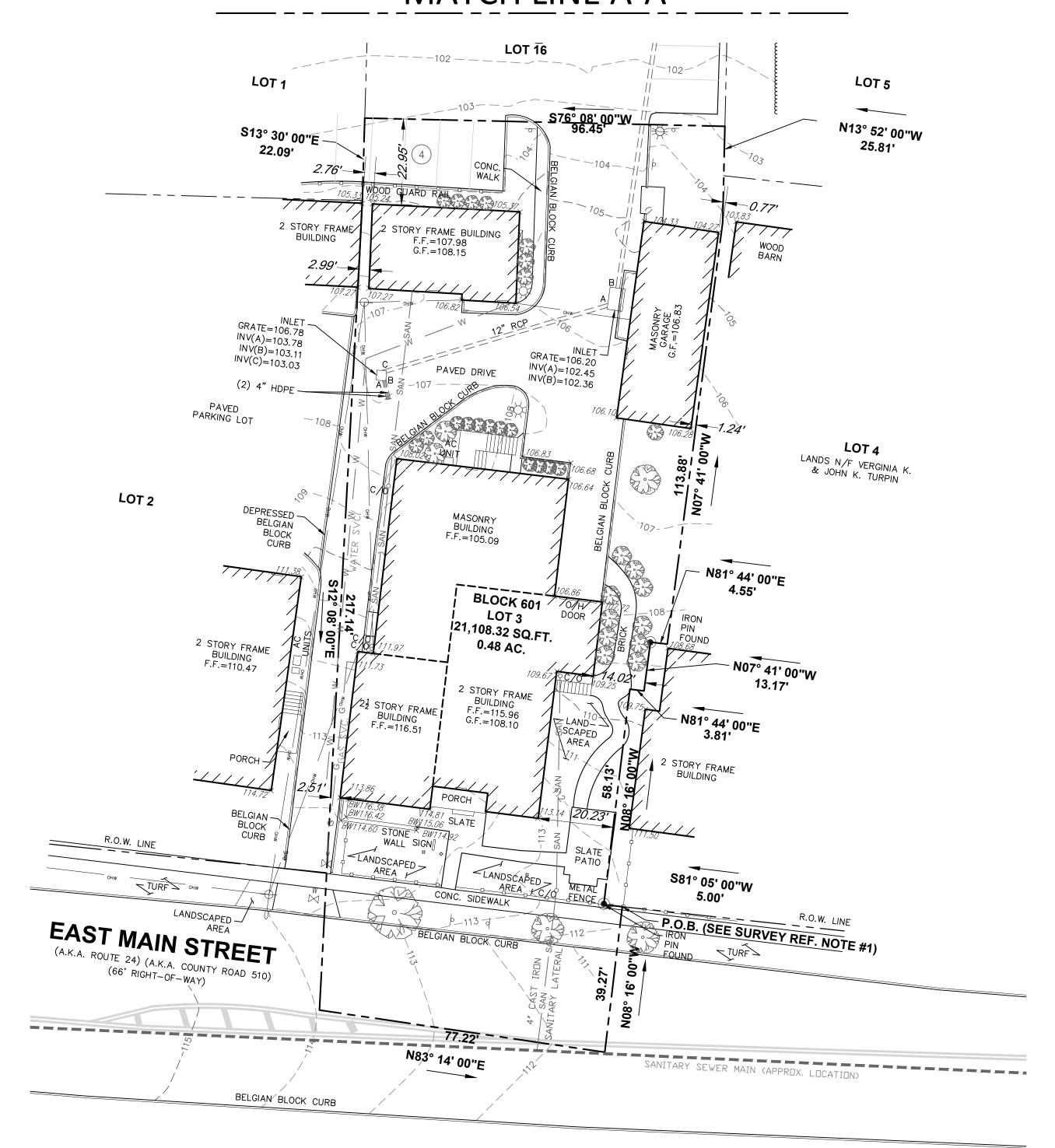
JH 02 LEGEND & NOTES.DWG 09/09/2019

NEW JERSEY





MATCH LINE A-A



NOTES:

- 1. ALL EXISTING ROOF DRAINAGE ON SUBJECT LOT DISCHARGES TO GRADE.
- 2. LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED IN FIELD BY CONTRACTOR PRIOR TO CONSTRUCTION.

GENERAL NOTES:

THE TIME OF THE SURVEY.

THIS PLAN REPRESENTS A SURVEY MADE ON THE GROUND.

 A TITLE REPORT OR COMMITMENT WAS NOT PROVIDED OR USED.

2. A TITLE REPORT OR COMMITMENT WAS NOT PROVIDED OR USED IN THE PREPARATION OF THIS PLAN.

3. IF THIS PLAN DOES NOT CONTAIN AN ORIGINAL SIGNATURE AND IMPRESSION SEAL OF THE UNDERSIGNED LICENSED LAND SURVEYOR IT

IS NOT AN AUTHENTIC COPY AND MAY HAVE BEEN ALTERED.

4. THIS PROPERTY IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF

RECORD, WRITTEN AND UNWRITTEN.

5. THIS PLAN MAKES NO REPRESENTATION TO THE LOCATION OF ANY

SUB-SURFACE UTILITIES OR STRUCTURES THAT WERE NOT VISIBLE AT

7. VERTICAL CONTROL FOR THIS PROJECT IS BASED ON AN ASSUMED DATUM AND RELATIVE TO THIS PROJECT ONLY.

8. SUBJECT TO THE RIGHTS OF A RECIPROCAL ACCESS EASEMENT AGREEMENT AS DESCRIBED IN DEED BK. 20494 PG. 447.

SURVEY REFERENCE:

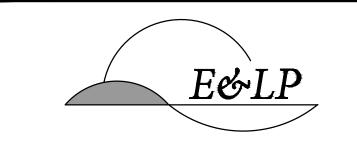
1. A MAP ENTITLED "MAP OF SURVEY, BLOCK 601, LOT 3, BOROUGH OF MENDHAM, MORRIS COUNTY, NEW JERSEY", PREPARED BY TEMPLIN ENGINEERING ASSOCIATES, DATED NOVEMBER 09, 2018.

2. A MAP ENTITLED "TOPOGRAPHIC SURVEY", PREPARED BY ENGINEERING & LAND PLANNING ASSOCIATES, INC., DATED 09/03/19.

NO

1. THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND EACH DRAWING HAS BEEN MARKED "ISSUED FOR CONSTRUCTION."

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140 WEST MAIN STREET HIGH BRIDGE, NJ 08829
PH. 908-238-0544 FAX. 908-238-9572
A PROFESSIONAL ASSOCIATION

С	ERTIFICATE OF AUTHORIZATION NO.: 24GA28021500 EXP. 8/31/2020				
3	REV. PER BOROUGH COMMENTS	EM	6/23/2020		
2	REV. PER BOROUGH COMMENTS	EM	5/19/2020		
1	REV. PER ENGINEER CERTIFICATION	EM	10/22/19		
NO.	REVISION	BY	DATE		

6/23/20

WAYNE J. INGRAM PROFESSIONAL SURVEYOR N.J. P.L.S. NO. 24GB04258200

PROJECT:

6 EAST MAIN STREET PRELIMINARY AND FINAL MAJOR SITE PLAN BLOCK 601, LOT 3 MENDHAM BOROUGH

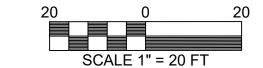
MORRIS COUNTY

NEW JERSEY

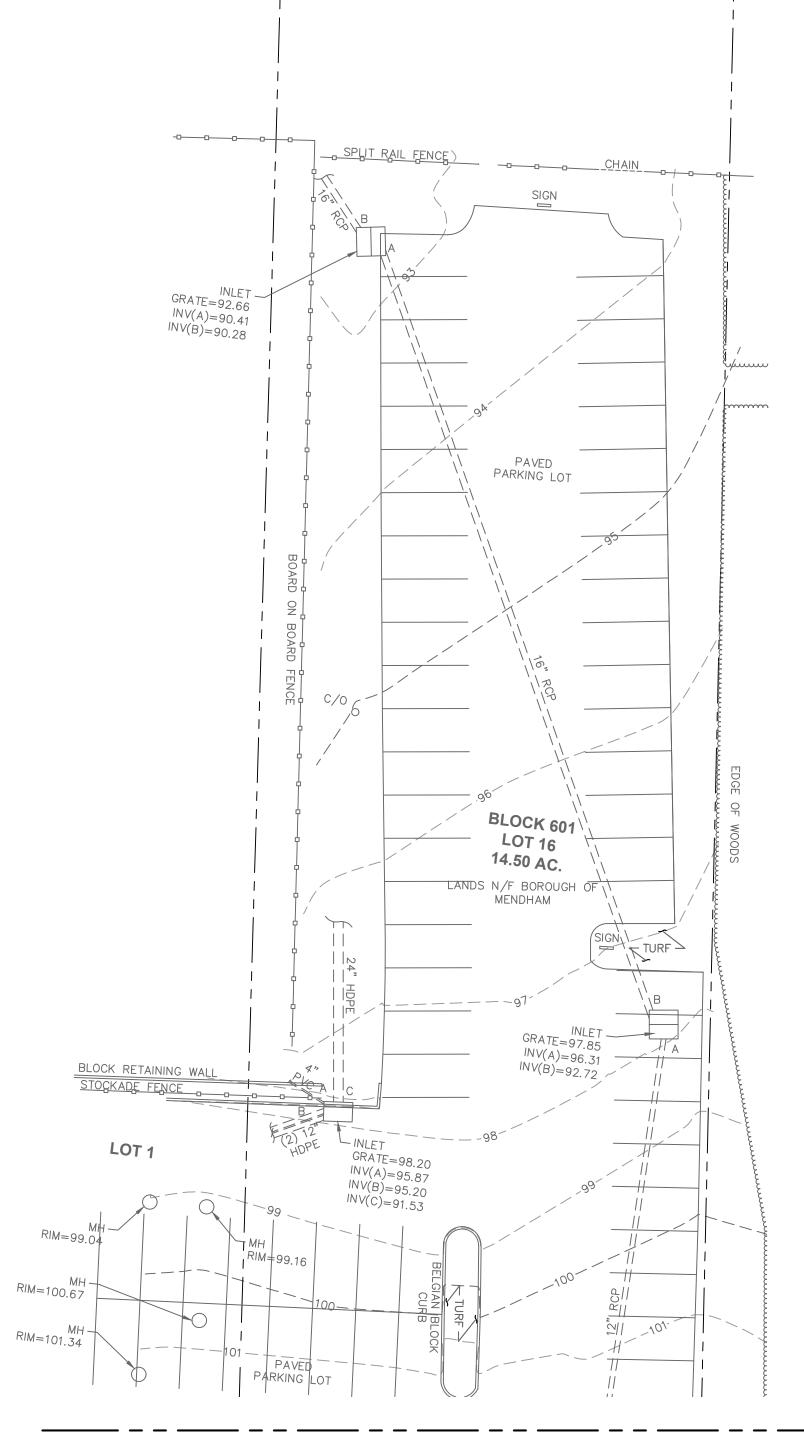
EXISTING CONDITIONS PLAN

OB NO.:	19135	
CALE:	1"=20'	
ESIGNED:	EM	
HECKED:	JH	
ILENAME:	SURVEY.DWG	
ATE:	09/09/2019	

3 / / 14

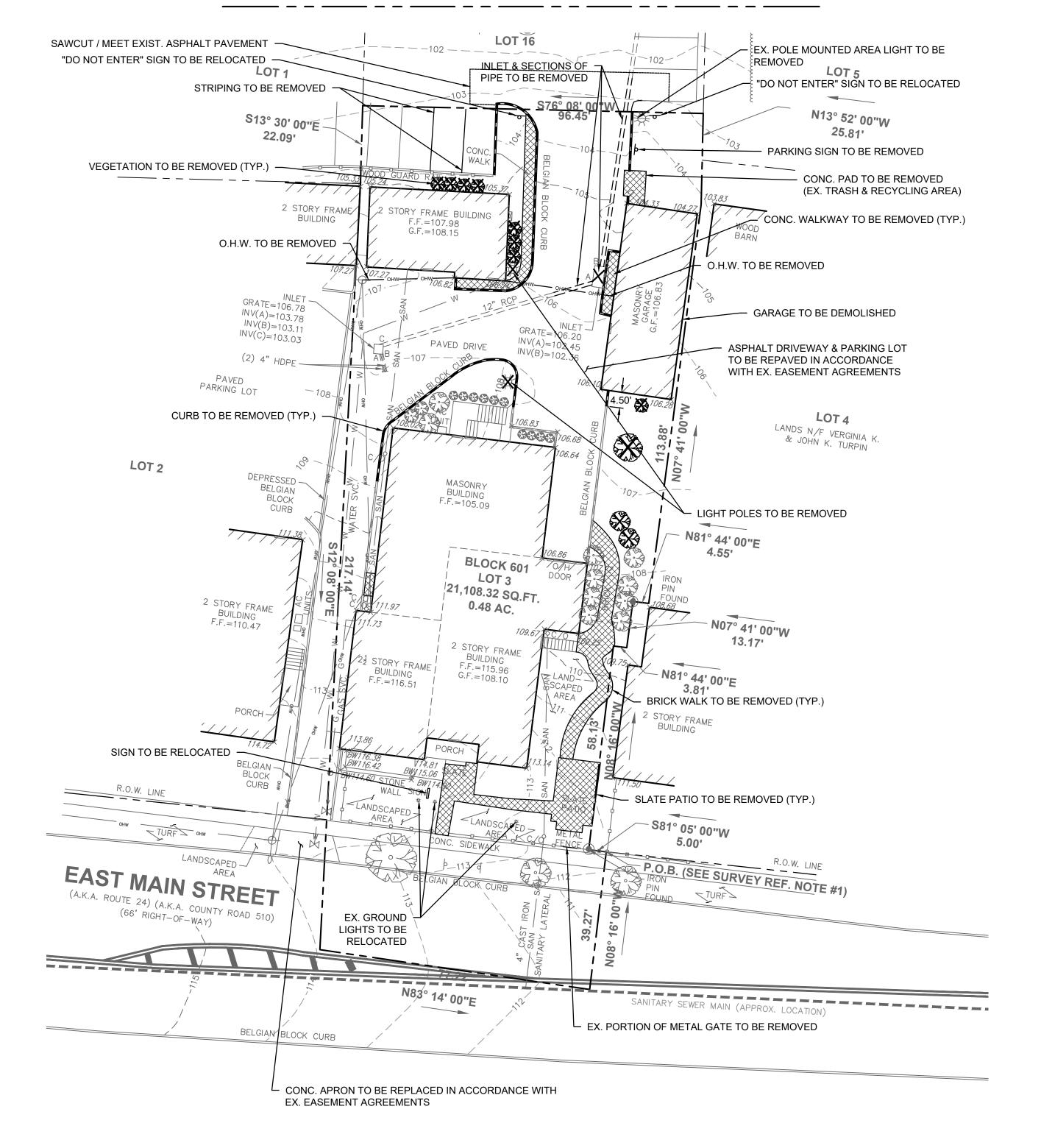






MATCH LINE A-A

MATCH LINE A-A

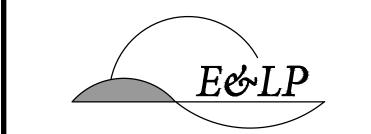


1. LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED IN FIELD BY CONTRACTOR PRIOR TO CONSTRUCTION.

NOTES:

1. THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND EACH DRAWING HAS BEEN MARKED "ISSUED FOR CONSTRUCTION."

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HIGH BRIDGE, NJ 0882 140 WEST MAIN STREET PH. 908-238-0544 FAX. 908-238-9572 A PROFESSIONAL ASSOCIATION

CERTIFICATE OF AUTHORIZATION NO.: 24GA28021500 EXP. 8/31/2020 REV. PER BOROUGH COMMENTS EM 6/23/202 REV. PER BOROUGH COMMENTS 1 REV. PER ENGINEER CERTIFICATION EM 10/22/1 BY DATE REVISION

6/23/2020 DATE

JOHN HANSEN PROFESSIONAL ENGINEER N.J. P.E. NO. 24GE04194500

PROJECT:

6 EAST MAIN STREET PRELIMINARY AND FINAL MAJOR SITE PLAN BLOCK 601, LOT 3 MENDHAM BOROUGH

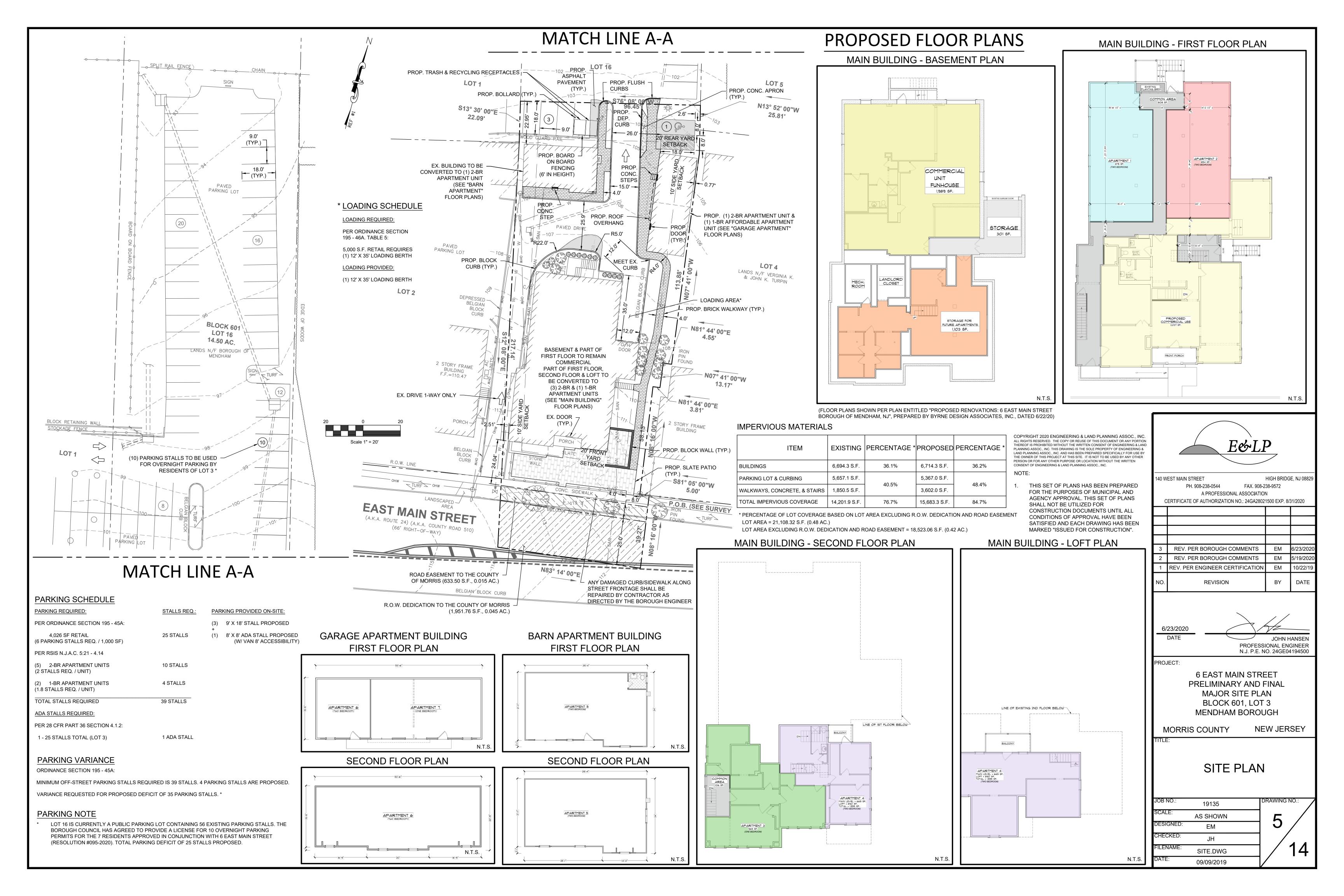
NEW JERSEY MORRIS COUNTY

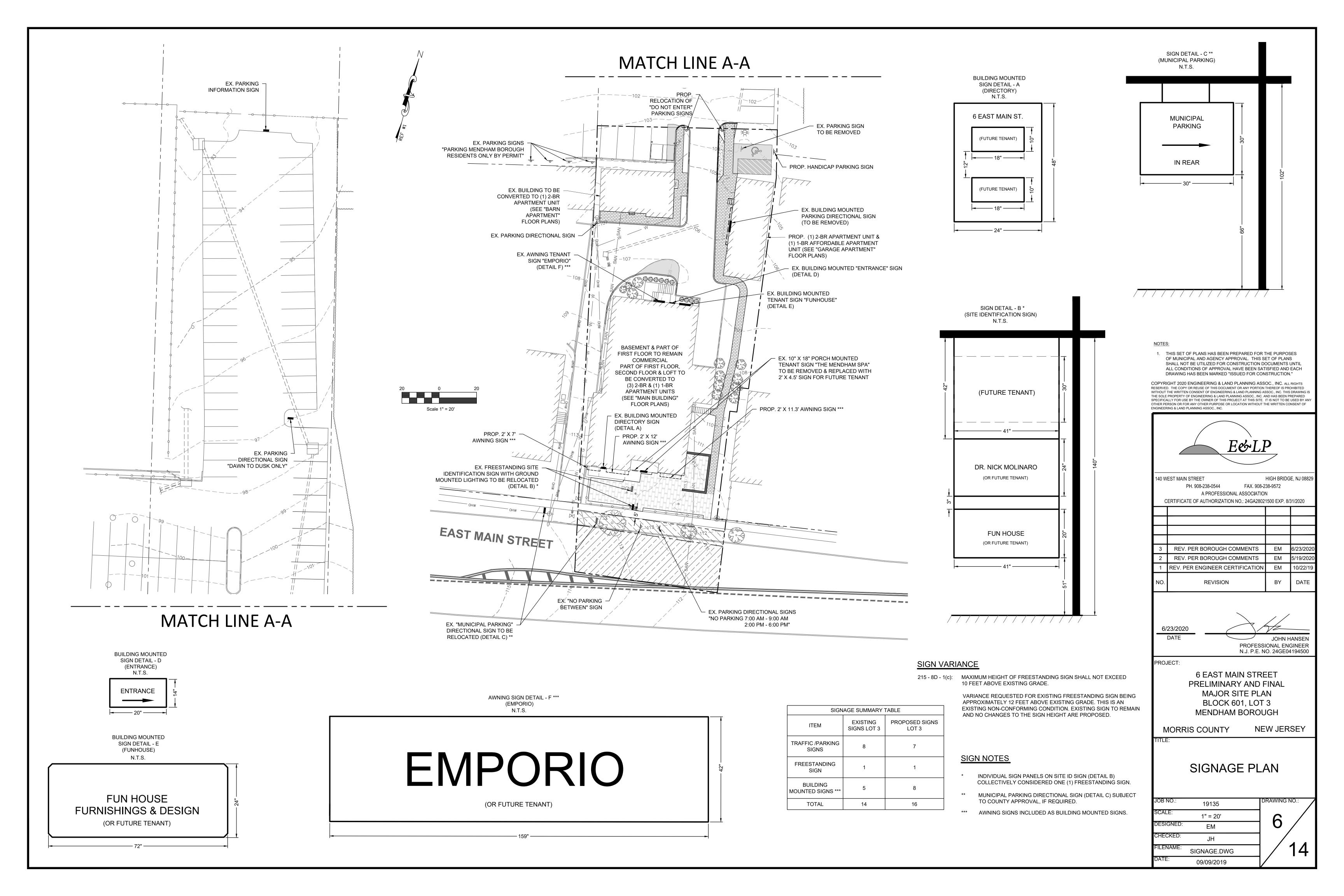
SCALE 1" = 20 FT

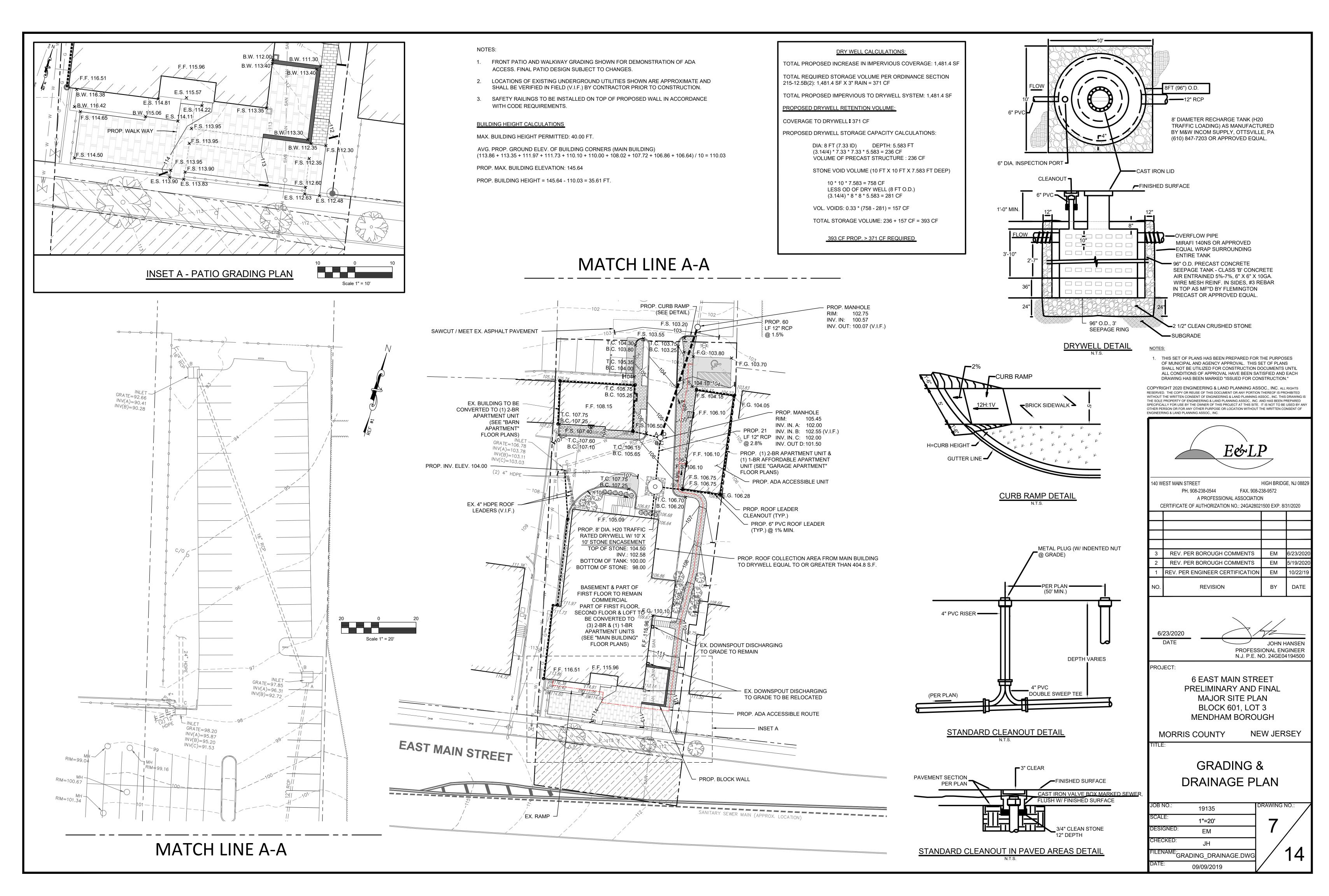
DEMOLITION PLAN

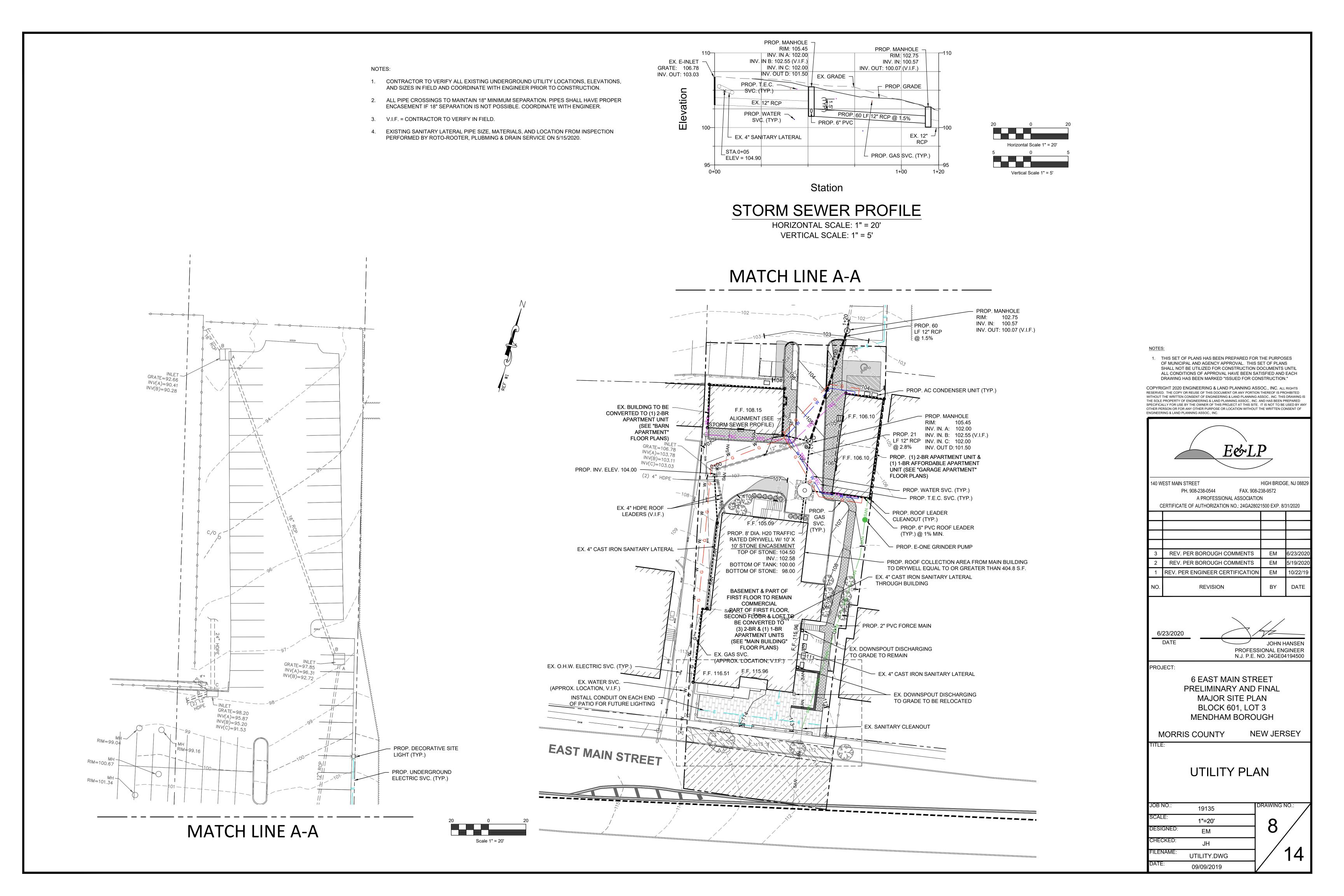
	JOB NO.:	19135	
	SCALE:	1"=20'	
	DESIGNED:	EM	
)	CHECKED:	JH	
	FILENAME:	DEMO.DWG	

09/09/2019









LEGEND Description Symbol Existing Building-Mounted Light Existing Sconce Light Existing Relocated Ground-Mounted Lights Existing Pole-Mounted Light Existing Pole-Mounted Light to be Removed Existing Decorative Site Light to be Removed Proposed Decorative Site Light Proposed Bollard Light

LANDSCAPING NOTES:

Proposed Wall-Mounted Light

Proposed Light Level (Footcandles)

- ALL PLANT MATERIALS SHALL BE OF NURSERY STOCK AND SHALL BE OF SYMMETRICAL GROWTH, FREE OF INSECTS, PESTS AND THE OWNER OR HIS REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND APPROVE ALL PLANT MATERIALS AND REJECT ANY PLANTS FOUND TO BE UNACCEPTABLE.
- DAMAGE TO EXISTING OR NEW WORK BY CONTRACTOR SHALL BE REPAIRED AT HIS EXPENSE.
- CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO THE SUBMISSION OF BIDS.
- REFER TO MECHANICAL AND SITE DRAWINGS FOR UTILITY INFORMATION. CONTRACTOR SHALL VERIFY PLANT LIST QUANTITIES INDICATED ON PLANS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN QUANTITIES PRIOR TO SUBMISSION OF BIDS.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY WITH REGARDS TO THE CARTING, STORING AND PLANTING OF MATERIALS TO PROTECT ADJACENT PAVEMENT
- THE CONTRACTOR SHALL ENSURE THAT ALL PLANT MATERIALS SHALL ARRIVE AT THE SITE WITH ROOT BALL AND BURLAP INTACT.
- THE CONTRACTOR SHALL PRUNE ALL NEW MATERIAL REMOVING APPROXIMATELY ONE-THIRD OF THE GROWTH AND REMOVE ALL DEAD AND BROKEN CANES AND BRANCHES. GRADE NEW PLANTING AREAS TO MAINTAIN THE EXISTING DRAINAGE PATTERN.
- ALL TOPSOIL SHALL BE PER HCSCD REQUIREMENTS. SEE NOTES ON SCD PLAN.
- 9. THE CONTRACTOR SHALL INSTALL ALL PLANT MATERIALS PER THE PLANTING DETAILS.
- 10. ALL PLANT HOLES SHALL BE BACKFILLED WITH A MIXTURE OF 3 PARTS TOPSOIL TO 1 PART PEATMOSS UNLESS SPECIFIED ON PLAN ALL PLANTING BEDS TO BE MULCHED WITH 4 INCHES CLEAN FRESH SHREADED HARDWOOD BARK, FREE OF STICKS, LEAVES AND OTHER FOREIGN MATERIALS.
- 11. ALL PLANT MATERIAL SHALL CONFORM TO THE HORTICULTURAL STANDARDS AS SET FORTH BY THE AMERICAN NURSERYMEN AND LANDSCAPING ASSOCIATION (ANLA 2000). CONTRACTOR SHALL REMOVE ALL NON-BIODEGRADABLE ROOT WRAPPING PRIOR TO PLANTING.
- 12. TOPSOIL AND SEED ALL DISTURBED AREAS AS A RESULT OF ANY AND ALL CONSTRUCTION OR AREAS OF EQUIPMENT STORAGE EQUIPMENT. CONTRACTOR SHALL FIELD VERIFY AREAS OF SEEDING. PROVIDE TOPSOIL TO 6" DEPTH IN ALL LAWN AREA AND 20" DEPTH IN SHRUB BEDS AND GARDEN.
- 13. ALL REMAINING DISTURBED AREAS SHALL BE SEEDED UNLESS NOTED OTHERWISE. SEE SEEDING PREPARATION NOTES. ALL LAWN AREAS TO BE FERTILIZED PRIOR TO FINAL SEEDING WITH A 10-6-4 FERTILIZER AT THE RATE OF 20 LBS/1000 SF. IN TWO APPLICATIONS.

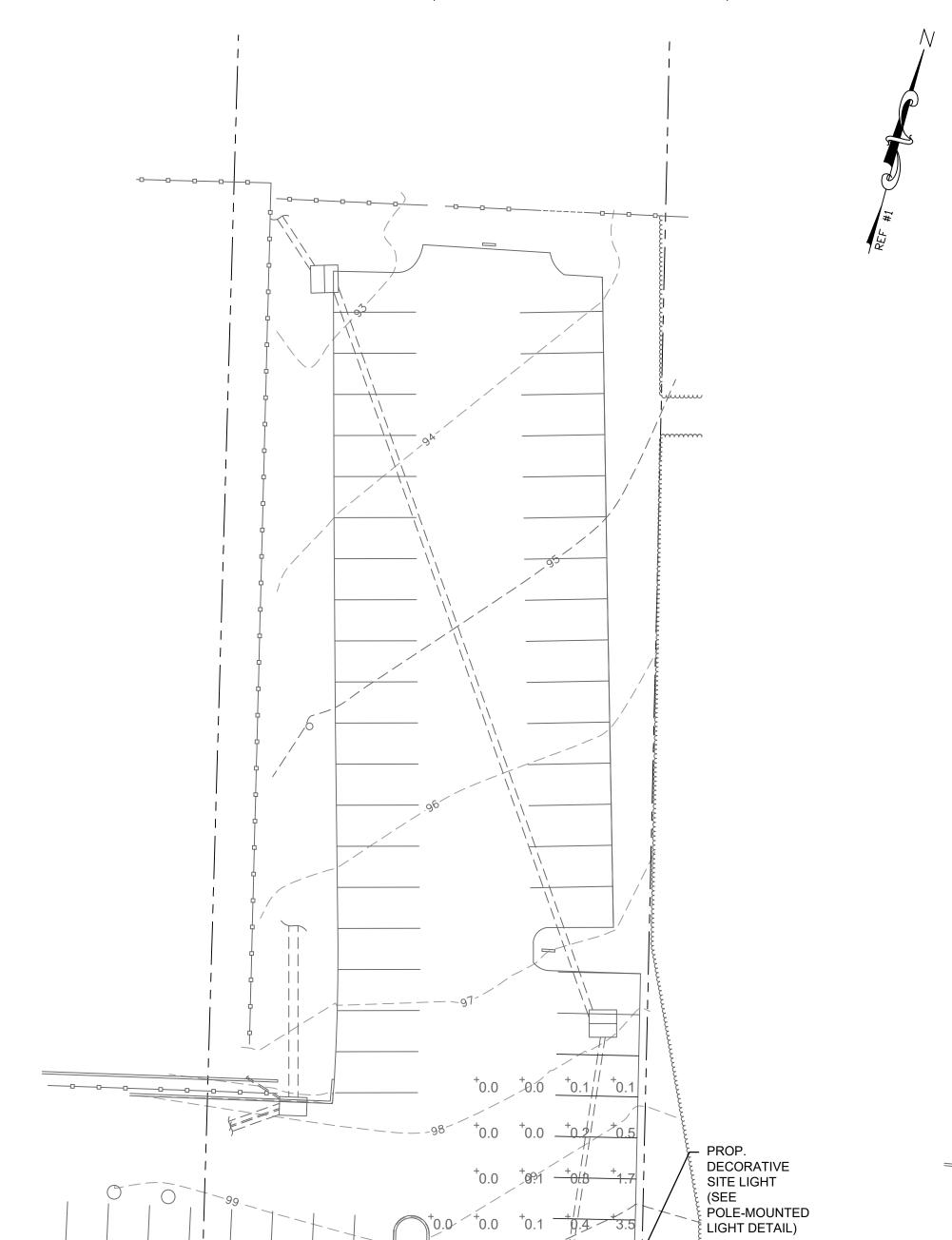
LUMINAIR	LUMINAIRE SCHEDULE *						
Symbol Label	Qty	Catalog #	Description	Lamp	LLF	Watts	Mounting
*	3	STERNBERG LIGHTING CARSON CITY SERIES 1843LED-12L40T2-MDL008 -SV1-BLOC	TRADITIONALLY STYLED LANTERN W/ SHIELDED LIGHT SOURCE & OPTICS, FROSTED GLASS CHIMNEY, POST TOP, BLACK TEXTURED FINISH	LUXEON 50-50 SERIES, LEDII optic	0.90	26.5	POLE-MOUNTED
ô	3	E260LED-CA-IRND45T2- MDL03	EURO SERIES E250 LED, CLEAR ACRYLIC BODY LENS, TYPE 2	26 LEDS	0.90	30.9	BOLLARD
×	2	STERNBERG LIGHTING CARSON CITY SERIES 1843LED-12L40T2-MDL008 -SV1-BLOC	1843LED CARSON CITY FIXTURE.ROOF MOUNTED LED PLATE, TYPE 2, SOFT VUE 1	2L 40T2-MDL008-SV1	0.90	26.5	WALL-MOUNTED

LIGHTING NOTE

≥

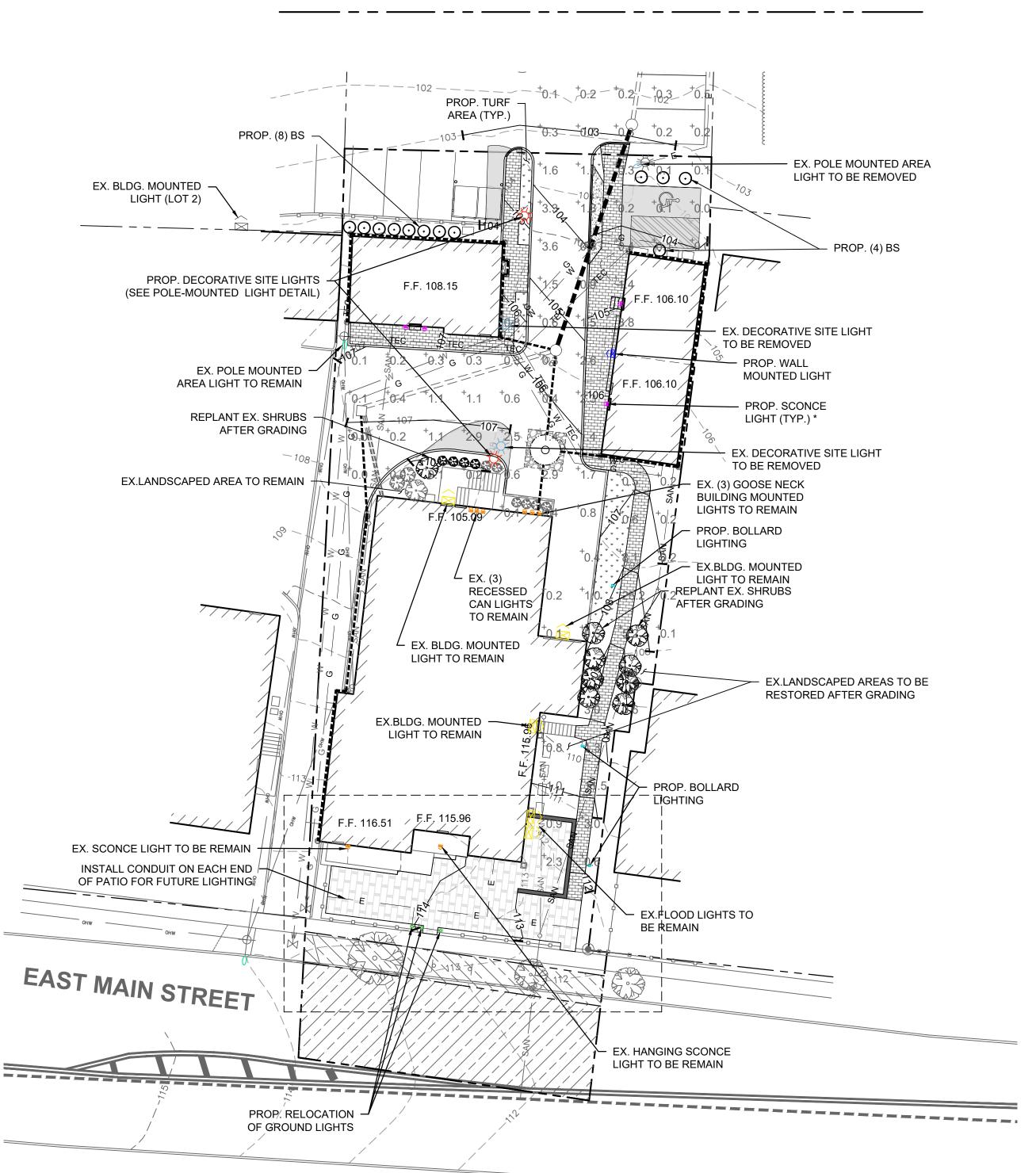
⁺0.3

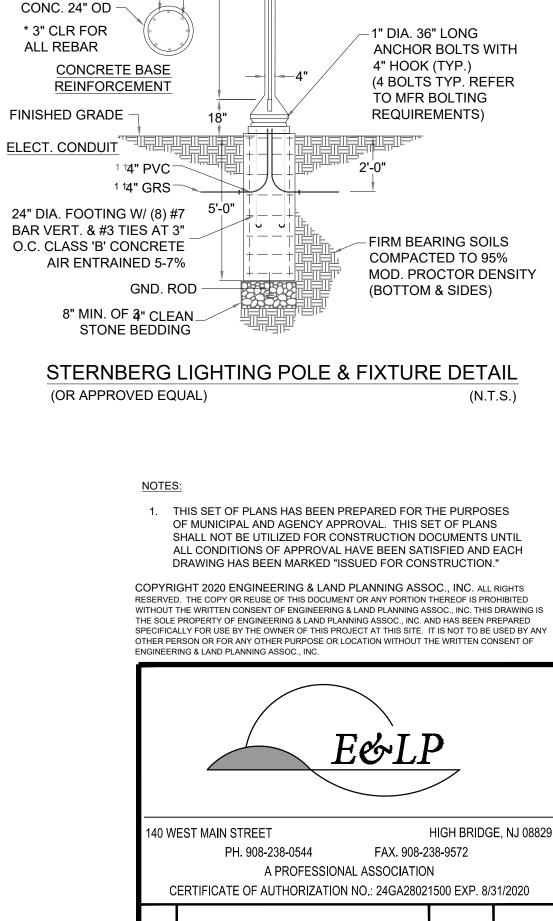
* LIGHT LEVELS SHOWN IN FOOTCANDLES PER PROPOSED LIGHTING ONLY (EXCLUSIVE OF PROPOSED SCONCE LIGHTING).



PLANT SCHE	DULE						
SYMBOL	QTY.	COMMON NAME	BOTANICAL NAME	HEIGHT	SPREAD	SPACING	NOTES
SHRUBS	SHRUBS						
BS	12	AMERICAN BOXWOOD-UPRIGHT	BUXUS SEMPERVIRENS	2-4'	3-4'	SEE PLAN	

MATCH LINE A-A





--|18.25" |--

CARSON CITY SERIES.

MODEL 1843LED FIXTURE

WITH FROSTED GLASS

FIXTURE AND POLE

MATERIAL: ALUMINUM

- STERNBERG CARSON CITY

SERIES, BLACK FINISH 4"-3" TAPERED SMOOTH

COLOR: BLACK

12' LENGTH

THE LIGHT SOURCE

AND OPTICS SHALL BE

SHIELDED IN THE CAP OF THE LUMINAIRE.

LIGHT POLE BASES

LOCATED ADJACENT TO

PARKING STALLS SHALL BE

LOCATED A MINIMUM OF 2.5'

BEHIND EDGE OF PAVEMENT

OR CURB LINE AND SHALL

OF THE PARKING STALLS. (SEE PLAN)

#3 HORIZONTAL TIES

#7 VERTICAL BARS -

COINCIDE WITH THE PROPOSED LINE STRIPING

> REV. PER ENGINEER CERTIFICATION ΕM BY DATE REVISION 6/23/2020 DATE JOHN HANSEN PROFESSIONAL ENGINEER

EM

N.J. P.E. NO. 24GE04194500

NEW JERSEY

REV. PER BOROUGH COMMENTS

REV. PER BOROUGH COMMENTS

PROJECT:

Scale 1" = 20'

6 EAST MAIN STREET PRELIMINARY AND FINAL MAJOR SITE PLAN BLOCK 601, LOT 3 MENDHAM BOROUGH

MORRIS COUNTY

LANDSCAPING & LIGHTING PLAN

JOB NO.:	19135	DRA
SCALE:	1"=20'	
DESIGNED:	EM	
CHECKED:	JH	
FILENAME:	LIGHTING.DWG	
DATE:	09/09/2019	/

DESIGN WAIVER

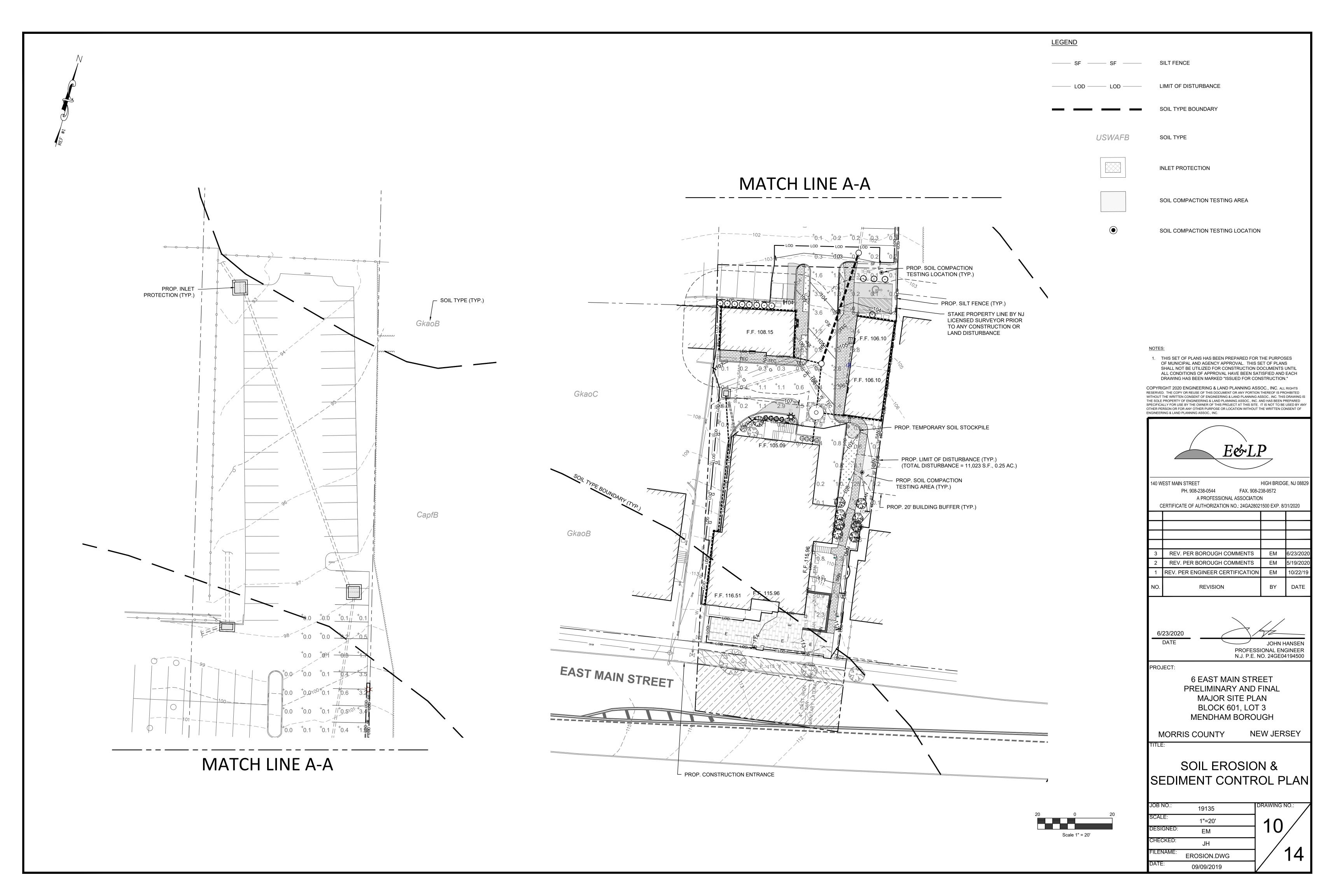
MATCH LINE A-A

↑0.0 ↑0.0 ↑0.1 // 0.5\⁰\

LIGHTING LEVELS AT ALL PROPERTY LINES SHALL NOT EXCEED 0.1 FOOTCANDLE EXCEPT WHERE DRIVEWAYS MEET A PUBLIC STREET.

WAIVER REQUESTED FOR LIGHTING LEVELS AT PROPERTY LINES TO EXCEED 0.1 FOOT CANDLE DUE TO THE PROXIMITY OF THE RESIDENTIAL

UNITS AND EXISTING PARKING STALLS TO THE PROPERTY LINES.



SOIL EROSION AND SEDIMENT CONTROL NOTES:

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY, AND WILL BE IN PLACE PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW OR HAY AND TACKED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS. SEE NOTE 21 BELOW.
- PERMANENT VEGETATION IS TO BE ESTABLISHED ON EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH IS TO BE USED FOR PROTECTION UNTIL VEGETATION IS ESTABLISHED. SEE NOTE 22 BELOW.
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING. ALL CRITICAL AREAS (STEEP SLOPES, SANDY SOILS, WET CONDITIONS) SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN ACCORDANCE WITH NOTE 21 BELOW.
- TEMPORARY DIVERSION BERMS ARE TO BE INSTALLED ON ALL CLEARED ROADWAYS AND EASEMENT AREAS. SEE THE DIVERSION DETAIL.
- 6. PERMANENT SEEDING AND STABILIZATION TO BE IN ACCORDANCE WITH THE "STANDARDS FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION COVER". SPECIFIED RATES AND LOCATIONS SHALL BE ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN.
- 7. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SO THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
- 8. ALL SEDIMENTATION STRUCTURES (SILT FENCE, INLET FILTERS, AND SEDIMENT BASINS) WILL BE INSPECTED AND MAINTAINED DAILY.
- STOCKPILES SHALL NOT BE LOCATED WITHIN 50' OF A FLOODPLAIN, SLOPE, DRAINAGE FACILITY, OR ROADWAY. ALL STOCKPILES BASES SHALL HAVE A SILT FENCE PROPERLY ENTRENCHED AT THE TOE OF SLOPE.
- 10. A STABILIZED CONSTRUCTION ACCESS WILL BE INSTALLED, WHENEVER AN EARTHEN ROAD INTERSECTS WITH A PAVED ROAD. SEE THE STABILIZED CONSTRUCTION ACCESS DETAIL AND CHART
- 11. ALL NEW ROADWAYS WILL BE TREATED WITH SUITABLE SUBBASE UPON ESTABLISHMENT OF FINAL GRADE ELEVATIONS.
- 12. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
- 13. BEFORE DISCHARGE POINTS BECOME OPERATIONAL, ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED AS REQUIRED.
- 14. ALL DEWATERING OPERATIONS MUST BE DISCHARGED DIRECTLY INTO A SEDIMENT FILTER AREA. THE FILTER SHOULD BE COMPOSED OF A FABRIC OR APPROVED MATERIAL. SEE THE DEWATERING DETAIL.
- 15. ALL SEDIMENT BASINS WILL BE CLEANED WHEN THE CAPACITY HAS BEEN REDUCED BY 50%. A CLEAN OUT ELEVATION WILL BE IDENTIFIED ON THE PLAN AND A MARKER INSTALLED ON THE SITE.
- DURING AND AFTER CONSTRUCTION, THE APPLICANT WILL BE RESPONSIBLE FOR THE MAINTENANCE AND UPKEEP OF THE DRAINAGE STRUCTURES, VEGETATION COVER, AND ANY OTHER MEASURES DEEMED APPROPRIATE BY THE DISTRICT. SAID RESPONSIBILITY WILL END WHEN COMPLETED WORK IS APPROVED BY THE MORRIS COUNTY SOIL CONSERVATION DISTRICT.
- 17. ALL TREES OUTSIDE THE DISTURBANCE LIMIT INDICATED ON THE SUBJECT PLAN OR THOSE TREES WITHIN THE DISTURBANCE AREA WHICH ARE DESIGNATED TO REMAIN AFTER CONSTRUCTION ARE TO BE PROTECTED WITH TREE PROTECTION DEVICES. SEE THE TREE PROTECTION DETAIL.
- 18. THE MORRIS COUNTY SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE ON SITE OR OFF SITE EROSION PROBLEMS DURING CONSTRUCTION.
- 19. THE MORRIS COUNTY SOIL CONSERVATION DISTRICT MUST BE NOTIFIED, IN WRITING, AT LEAST 72 HOURS PRIOR TO ANY LAND DISTURBANCE, AND A PRE-CONSTRUCTION MEETING HELD.
- 20. CONTRACTOR TO SET UP A MEETING WITH THE INSPECTOR FOR PERIODIC INSPECTIONS OF THE TEMPORARY SEDIMENT BASIN PRIOR TO AND DURING ITS CONSTRUCTION.
- 21. TOPSOIL STOCKPILE PROTECTION
- A. APPLY GROUND LIMESTONE AT A RATE OF 90 LBS PER 1000 SQ. FT. B. APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS. PER 1000 SQ. FT.
- C. APPLY PERENNIAL RYEGRASS SEED AT 1 LB. PER 1000 SQ. FT. AND ANNUAL RYEGRASS AT 1 LB. PER 1000 SQ. FT.
- D. MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS. PER 1000 SQ. FT.
- E. APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH. F. PROPERTY ENTRENCH A SILT FENCE AT THE BOTTOM OF THE STOCKPILE.
- 22. TEMPORARY STABILIZATION SPECIFICATIONS
- A. APPLY GROUND LIMESTONE AT A RATE OF 90 LBS PER 1000 SQ. FT. APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS. PER 1000 SQ. FT.
- APPLY PERENNIAL RYEGRASS SEED AT 1 LB. PER 1000 SQ. FT. AND ANNUAL RYEGRASS AT 1 LB. PER
- D. MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS. PER 1000 SQ. FT.
- E. APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.
- 23. PERMANENT STABILIZATION SPECIFICATIONS
- A. APPLY TOPSOIL TO A DEPTH OF 5 INCHES (UNSETTLED)
- B. APPLY GROUND LIMESTONE AT A RATE OF 90 LBS PER 1000 SQ. FT.
- C. APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS. PER 1000 SQ. FT.
- APPLY HARD FESCUE SEED AT 2.7 LBS. PER 1000 SQ. FT. AND CREEPING RED FESCUE SEED AT 0.7 LBS. PER 1000 SQ. FT. AND PERENNIAL RYEGRASS SEED AT 0.25 LBS. PER 1000 SQ. FT/.
- MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS. PER 1000 SQ. FT.
- F. APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.
- * NOTE: 72 HOURS PRIOR TO ANY SOIL DISTURBANCE, NOTICE IN WRITING, SHALL BE GIVEN TO THE MORRIS COUNTY SOIL CONSERVATION DISTRICT AND A PRE-CONSTRUCTION MEETING HELD.

AGRONOMIC SPECIFICATIONS FOR LAWNS AND CONSTRUCTION SITES

- 1. ALL DISTURBED AREAS THAT ARE NOT BEING GRADED, NOT UNDER ACTIVE CONSTRUCTION, OR NOT SCHEDULED TO BE PERMANENTLY SEEDED WITHIN 30 DAYS MUST BE TEMPORARILY STABILIZED AS PER SPECIFICATIONS BELOW.
- 1. ALL EXPOSED AREAS WHICH ARE TO BE PERMANENTLY VEGETATED, ARE TO BE SEEDED AND MULCHED WITHIN 10 DAYS OF FINAL GRADING.
- 2. STRAW MULCH (HAY MULCH MAY BE SUBSTITUTED IF APPROVED BY THE DISTRICT) IS TO BE APPLIED TO ALL SEEDINGS AT A RATE OF 1-1/2 TO 2 TONS PER ACRE (APPROX. 100 TO 130 BALES PER ACRE).

3. MULCH ANCHORING IS REQUIRED AFTER MULCHING TO MINIMIZE LOSS BY WIND OR WATER. THIS IS TO BE DONE USING ONE

SEDIMENT CONTROL IN NEW JERSEY". 4. EXISTING WEEDY AND POORLY-VEGETATED AREAS WITH LESS THAN 80 PERCENT PERENNIAL GRASS COVER MUST RECEIVE

OF THE METHODS (CRIMPING, LIQUID MULCH BINDERS, NETTINGS, ETC.) IN THE "STANDARDS FOR SOIL EROSION AND

PERMANENT STABILIZATION (AS SPECIFIED ON BACK). 5. ALL BAGS NEED TO BE SAVED FOR LIME, FERTILIZER, SEED, AND LIQUID MULCH BINDER (IF MULCH ANCHORING METHOD).

SUCH PROOFS NEED TO BE SUBMITTED TO THE DISTRICT INSPECTOR FOR VERIFICATION OF MATERIALS AND QUANTITIES

6. AN ADDITIONAL FEE OF \$175.00 PER INSPECTION WILL BE ASSESSED TO THOSE SITES WHERE ADDITIONAL INSPECTIONS ARE NECESSITATED AS A RESULT OF NON-COMPLIANCE WITH THE APPROVED PLAN. THIS INCLUDES ADDITIONAL INSPECTIONS PERFORMED AFTER THE FAILURE OF AN INITIAL REPORT OF COMPLIANCE INSPECTION. THE ENTIRE SITE IS INSPECTED AT

SEED-BED PREPARATION FOR ALL SEEDINGS

THE TIME OF A REQUEST FOR REPORT OF COMPLIANCE.

USED FOR ALL SEEDINGS.

SUB-SOIL PREPARATION: IMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION, THE SURFACE SHOULD BE SCARIFIED TO A DEPTH OF 6" TO 12" WHERE THERE HAS BEEN SOIL COMPACTION (e.g. AREAS OF HEAVY CONSTRUCTION TRAFFIC). THIS PRACTICE IS TO BE APPLIED TO ALL COMPACTED AREAS WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.).

TOPSOILING: AREAS TO BE SEEDED SHOULD HAVE A MINIMUM OF 5" OF FRIABLE, LOAMY, TOPSOIL FREE OF OBJECTIONABLE WEEDS, STONES, AND DEBRIS.

FINAL GRADING: GRADING IS TO BE SMOOTH OF RUTS AND FREE OF OBJECTIONABLE STONES, DEPRESSIONS, VEHICLE TRACKS, AND ROUGH EDGES. THERE IS TO BE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND DWELLINGS. REFUSE FROM SEEDBED PREPARATION (ROOTS, STICKS, STONES, CONSTRUCTION DEBRIS) MUST BE DISPOSED OF PROPERLY.

LIMING/FERTILIZING: APPLY LIMESTONE AND FERTILIZER TO SOIL TEST RECOMMENDATIONS:

- A. LIME IS TO BE APPLIED AT THE RECOMMENDED RATE. LIME MAY BE ANY PRODUCT AS TONS AS THE CCE CALCIUM CARBONATE EQUIVALENCY. PELLETIZED AND LIQUID PRODUCTS MAY BE PREFERRED BECAUSE OF THEIR LACK OF DUST AND EASE OF HANDLING BUT MUST MEET THE FORE-MENTIONED CRITERIA.
- B. STARTER FERTILIZER, SPECIFIED AS 10-20-10, IS TO BE APPLIED AT 500 LBS. PER ACRE.
- C. LIME AND FERTILIZER ARE TO BE WORKED INTO THE SOIL TO A DEPTH OF 4 INCHES.

TEMPORARY STABILIZATION WITH MULCH ONLY STRAW MULCH (HAY MULCH MAY BE SUBSTITUTED IF APPROVED BY THE DISTRICT) IS TO BE SPREAD UNIFORMLY AT THE RATE OF 2 TO 2 1/2 TONS PER ACRE (TOTAL GROUND SURFACE COVERAGE). THIS PRACTICE IS LIMITED TO PERIODS WHEN VEGETATIVE COVER CANNOT BE ESTABLISHED DUE TO THE SEASON OR OTHER CONDITIONS. MULCH MUST BE ANCHORED IN ACCORDANCE WITH NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL. MULCH ALONE CAN ONLY BE USED FOR SHORT PERIOD AND WILL REQUIRE MAINTENANCE AND RENEWAL. OTHER MULCH MATERIALS MAY BE UTILIZED IF APPROVED BY THE DISTRICT.

TEMPORARY SEEDING IS TO BE USED ON ALL DISTURBED AREAS WHERE PERMANENT STABILIZATION WILL NOT BE ACCOMPLISHED FOR A PERIOD OF UP TO 6 MONTHS.

PRODUCT	RATE	RECOMMENDED OPTIMUM SEEDING
PERENNIAL RYEGRASS	100 LBS./ACRE	3/15-5/15 & 8/15-10/1
SPRING OATS	86 LBS./ACRE	3/15-6/1 & 8/1-10/1
WINTER CEREAL RYE	112 LBS./ACRE	8/1-11/15
WINTER BARLEY	96 LBS./ACRE	8/15-10/1
PEARL MILLET	20 LBS./ACRE	5/15-8/15
GERMAN OR HUNGARIAN MILLET	30 LBS./ACRE	5/15-8/15

STABILIZATION WITH SOC

STABILIZATION WITH SOD IS PERMITTED IN AREAS WHERE MAINTENANCE AND IRRIGATION ARE ADEQUATE TO INSURE PROPER ESTABLISHMENT AND LONGEVITY. SEEDBED PREPARATION IS TO BE CONSISTENT WITH ANY OTHER STABILIZATION REQUIREMENTS. (LIME AND FERTILIZER BAGS ARE TO BE RETAINED FOR DISTRICT INSPECTION.) ON SLOPES GREATER THAN 3 TO 1, SOD MUST BE PROPERLY ANCHORED TO THE SLOPE IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL.

PERMANENT SEEDING

A. SEED IS TO BE INCORPORATED INTO THE SOIL TO A DEPTH OF 1/4"-1/2".

- B. LAWN SEEDINGS ARE TO BE A MIXTURE OF BLUEGRASS, TURF-TYPE FESCUES, AND TURF-TYPE PERENNIAL RYEGRASSES TO INSURE LONGEVITY, TOLERANCE, AND DURABILITY. NO SEED SHALL BE ACCEPTED WITH A GERMINATION TEST DATE OF MORE THAN 12 MONTHS OLD UNLESS RETESTED.
- C. PROFESSIONAL SEED MIXTURES ARE RECOMMENDED RATHER THAN MIXING SEEDS YOURSELF.
- D. SEED MIXTURE (AS SPECIFIED BELOW) IS TO BE APPLIED AT A MINIMUM RATE OF 200 LBS. PER ACRE OF PERENNIAL SEED.
- E. OPTIMUM SEEDING PERIOD FOR MENDHAM BOROUGH IS FROM MARCH 1 TO MAY 15 AND AUGUST 15 TO OCTOBER 1. OUTSIDE OF THOSE PERIODS, THE SEEDING RATES ARE TO BE INCREASED BY 50 (i.e.: 300 LBS. PER ACRE OF PERENNIAL SEED INSTEAD OF THE REQUIRED 200 LBS. PER ACRE DURING OPTIMUM PERIODS).
- F. SEEDINGS SHOULD RECEIVE AN APPLICATION OF FERTILIZER SUCH AS 10-10-10 OR EQUIVALENT AT 400 LBS. PER ACRE APPROXIMATELY 6 MONTHS AFTER FIRST APPLICATION.

SEEDING MIXTURE FOR GENERAL SEEDING

FROM THE "STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY" (TABLE 4-3);

MIX #12 - TURF-TYPE TALL FESCUE (BLEND OF 3 CULTIVARS) SEEDING RATE 350 LBS./ACRE OPTIMUM SEEDING DATES: AUGUST 15 TO OCTOBER 15

CONSTRUCTION SEQUENCE

1.	INSTALL ALL SOIL EROSION AND SEDIMENT CONTROL DEVICES	2 DA	.YS
2.	SITE CLEARING & ROUGH GRADING	8 WE	EKS
3.	CONSTRUCTION OF SITE IMPROVEMENTS	12 WE	EKS
4.	RESTORE ALL AREAS AS APPROPRIATE COMPLETION OF CONSTRUCTION	2 WE	EKS
5.	REMOVE SOIL EROSION AND SEDIMENT CONTROL DEVICES	1 DAY	Y

AREA OF DISTURBANCE = 0.25 ACRES

DUST CONTROL NOTES

THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST.

VEGETATIVE COVER

SPRAY-ON ADHESIVES - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS.

DUST CONTROL MATERIALS

MATERIAL	WATER DILUTION	TYPE OF NOZZLE	APPLY GAL/AC
ANIONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1200
LATEX EMULSION	12.5:1	FINE SPRAY	235
RESIN IN WATER	4:1	FINE SPRAY	300
POLYACRYLAMIDE (PAM) - SPRAY ON POLYACRYLAMIDE (PAM) - DRY SPRAY	MAY ALSO BE U	DING TO MANUFACTURE JSED AS AN ADDITIVE TO E AND PRECIPITATE SU	O SEDIMENT BASINS
ACIDULATED SOY BEAN SOAP STICK	NONE	COARSE SPRAY	1200

TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 18 INCHES APART, AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.

SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.

BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.

CALCIUM CHLORIDE - SHALL BE IN THE FORM OF LOOSE, DRY GRANULATES OF FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS, OR ACCUMULATION AROUND PLANTS.

STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

MULCHING IS REQUIRED ON ALL SEEDING. MULCH WILL PROTECT AGAINST EROSION BEFORE GRASS IS ESTABLISHED AND WILL PROMOTE FASTER AND EARLIER ESTABLISHMENT. THE EXISTENCE OF VEGETATION SUFFICIENT TO CONTROL SOIL EROSION SHALL BE DEEMED COMPLIANT WITH THIS MULCHING REQUIREMENT.

A. STRAW OR HAY. UNROTTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, TO BE APPLIED AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SQUARE FEET), EXCEPT THAT WHERE A CRIMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER (TACKIFYING OR ADHESIVE AGENT), THE RATE OF APPLICATION IS 3 TONS PER ACRE. MULCH CHOPPER-BLOWERS IS NOT GRIND THE MULCH. HAY MULCH IS NOT RECOMMENDED FOR REESTABLISHING FINE TURF OR LAWNS DUE TO THE PRESENCE OF WEED SEED.

APPLICATION. SPREAD MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THAT AT LEAST 85% OF THE SOIL SURFACE WILL BE COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH. DIVIDE AREA INTO APPROXIMATELY 1,000 SQUARE FEET SECTIONS AND DISTRIBUTE 70 TO 90 POUNDS WITHIN EACH SECTION. ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA. STEEPNESS OF SLOPE, AND COSTS.

- 1. PEG AND TWINE. DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRISSCROSS AND SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.
- 2. MULCH NETTINGS. STAPLE PAPER, JUICE, COTTON, OR PLASTIC NETTINGS TO THE SOIL SURFACE. USE A DEGRADABLE NETTING IN AREAS TO BE MOWED.
- 3. CRIMPER (MULCH ANCHORING COULTER TOOL). A TRACTOR-DRAWN IMPLEMENT, SOMEWHAT LIKE A DISC HARROW, ESPECIALLY DESIGNED TO PUSH OR CUT SOME OF THE BROADCAST LONG FIBER MULCH 3 TO 4 INCHES INTO THE SOIL SO AS TO ANCHOR IT AND LEAVE PART STANDING UPRIGHT. THIS TECHNIQUE IS LIMITED TO AREAS TRAVERSABLE BY A TRACTOR, WHICH MUST OPERATE ON THE CONTOUR OF SLOPES, STRAW MULCH RATE MUST BE 3 TONS PER ACRE. NO TACKIFYING OR ADHESIVE AGENT IS REQUIRED.
- 4. LIQUID MULCH BINDERS. MAY BE USED TO ANCHOR SALT HAY, HAY OR STRAW MULCH.
- A. APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND MAY CATCH THE MULCH, IN VALLEYS, AND AT CRESTS OF BANKS. THE REMAINDER OF THE AREA SHOULD BE UNIFORM IN APPEARANCE.
- B. USE OF THE FOLLOWING:
- ORGANIC AND VEGETABLE BASED BINDERS. NATURALLY OCCURRING, POWDER BASED HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANED NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTOTOXIC EFFECT OR IMPEDE GROWTH OF TURFGRASS. USE AT RATES AND WEATHER CONDITIONS AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS. MANY NEW PRODUCTS ARE AVAILABLE, SOME OF WHICH MAY NEED FURTHER EVALUATION FOR USE IN THE STATE.

SOIL DE-COMPACTION AND TESTING REQUIREMENTS

SOIL COMPACTION TESTING REQUIREMENTS

- 1. SUBGRADE SOILS PRIOR TO THE APPLICATION OF TOPSOIL (SEE PERMANENT SEEDING AND STABILIZATION NOTES FOR TOPSOIL REQUIREMENTS) SHALL BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
- 2. AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY DENOTED ON THE CERTIFIED SOIL EROSION CONTROL PLAN.
- COMPACTION TESTING LOCATIONS ARE DENOTED ON THE PLAN. A COPY OF THE PLAN OR PORTION OF THE PLAN SHALL BE USED TO MARK LOCATIONS OF TESTS, AND ATTACHED TO THE COMPACTION REMEDIATION FORM, AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.
- 4. IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE SIMPLIFIED TESTING METHODS (SEE DETAILS BELOW), THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO PERFORM EITHER (1) COMPACTION MITIGATION OVER THE ENTIRE MITIGATION AREA DENOTED ON THE PLAN (EXCLUDING EXEMPT AREAS), OR (2) PERFORM ADDITIONAL, MORE DETAILED TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DETAILED TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL.

COMPACTION TESTING METHODS

- PROBING WIRE TEST (SEE DETAIL)
- HAND-HELD PENETROMETER TEST (SEE DETAIL)
- TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED D. NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)

NOTE: ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS, AND WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL.

SOIL COMPACTION TESTING IS NOT REQUIRED IF/WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE (6" MINIMUM DEPTH)OR SIMILAR) IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION.

PROCEDURES FOR SOIL COMPACTION MITIGATION

PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.

RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.). IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAYBE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL.

2. SYNTHETIC BINDERS. HIGH POLYMERS SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION TO MULCH, DRYING AND CURING SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. BINDER SHALL BE APPLIED AT RATES RECOMMENDED BY THE MANUFACTURE AND REMAIN TACKY UNTIL GERMINATION OF GRASS.

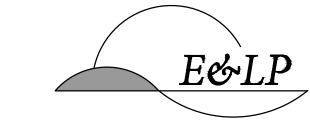
C. WOOD-FIBER OR PAPER-FIBER MULCH SHALL BE MADE FROM WOOD, PLANT FIBERS OR PAPER CONTAINING NO GROWTH OR GERMINATION INHIBITING MATERIALS, USED AT THE RATE OF 1,500 POUNDS PER ACRE (OR AS RECOMMENDED BY THE PRODUCT MANUFACTURER) AND MAY BE APPLIED BY A HYDROSEEDER, MULCH SHALL NOT BE MIXED IN THE TANK WITH SEED. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING

D. PELLETIZED MULCH. COMPRESSED AND EXTRUDED PAPER AND/OR WOOD FIBER PRODUCT, WHICH MAY CONTAIN COPOLYMERS. TACKIFIERS, FERTILIZERS AND COLORING AGENTS. THE DRY PELLETS, WHEN APPLIED TO A SEEDED AREA AND WATERED FORM A MULCH MAT. PELLETIZED MULCH SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. MULCH MAY BE APPLIED BY HAND OR MECHANICAL SPREADER AT THE RATE OF 60-75 LBS/1,000 SQ. FT. AND ACTIVATED WITH 0.2 TO 0.4 INCHES OF WATER. THIS MATERIAL HAS BEEN FOUND TO BE BENEFICIAL FOR USE ON SMALL LAWN AND RENOVATION AREAS, SEEDED AREAS WHERE WEED-SEED FREE MULCH IS DESIRED OR ON SITES WHERE STRAW MULCH AND TACKIFIER AGENTS ARE NOT PRACTICAL OR DESIRABLE. APPLYING THE FULL 0.2 TO 0.4 INCHES OF WATER AFTER SPREADING PELLETIZED MULCH ON THE SEEDBED IS EXTREMELY IMPORTANT FOR SUFFICIENT ACTIVATION AND EXPANSION OF THE MULCH TO PROVIDE SOIL COVERAGE.

- IRRIGATION (WHERE FEASIBLE): IF SOIL MOISTURE IS DEFICIENT SUPPLY NEW SEEDING WITH ADEQUATE WATER (A MINIMUM OF 1/4 INCH APPLIED UP TO TWICE A DAY UNTIL VEGETATION IS WELL ESTABLISHED). THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE IN ABNORMALLY DRY OR HOT WEATHER OR ON DROUGHTY SITES.
- TOP DRESSING: SINCE SOIL ORGANIC MATTER CONTENT AND SLOW RELEASE NITROGEN FERTILIZER (WATER INSOLUBLE) ARE PRESCRIBED IN SECTION 2A-SEEDBED PREPARATION IN THIS STANDARD, NO FOLLOW-UP OF TOP DRESSING IS MANDATORY, AN EXCEPTION MAY BE MADE WHERE GROSS NITROGEN DEFICIENCY EXISTS IN THE SOIL TO THE EXTENT THAT TURF FAILURE MAY DEVELOP. IN THAT INSTANCE, TOP DRESSING WITH 10-10-10- OR EQUIVALENT AT 300 POUNDS PER ACRE OR 7 POUNDS PER 1,000 SQUARE FEET EVERY 3 TO 5 WEEK UNTIL THE GROSS NITROGEN DEFICIENCY IN THE TURF IS AMELLIORATED.
- 4. ESTABLISHING PERMANENT VEGETATIVE STABILIZATION: THE QUALITY OF PERMANENT VEGETATION RESTS WITH THE CONTRACTOR. THE TIMING OF SEEDING, PREPARING THE SEEDBED, APPLYING NUTRIENTS, MUCH AND OTHER MANAGEMENT ARE ESSENTIAL.THE SEED APPLICATION RATES IN THE PERMANENT SEEDING TABLE ARE REQUIRED WHEN A REPORT OF COMPLIANCE IS REQUESTED PRIOR TO ACTUAL ESTABLISHMENT OF PERMANENT VEGETATION. UP TO 50% REDUCTION IN APPLICATION RATES MAY BE USED WHEN PERMANENT VEGETATION IS ESTABLISHED PRIOR TO REQUESTING A REPORT OF COMPLIANCE FROM THE DISTRICT. THESE PERMANENT VEGETATION IS ESTABLISHED PRIOR TO REQUESTING A REPORT OF COMPLIANCE FROM THE DISTRICT. THESE RATES APPLY TO ALL METHODS OF SEEDING. ESTABLISHING PERMANENT VEGETATION MEANS 80% VEGETATIVE COVER (OF THE SEEDED SPECIES) AND MOWED ONCE.THIS DESIGNATION OF MOWED ONCE DOES NOT GUARANTEE THE PERMANENCY OF THE TURF SHOULD OTHER MAINTENANCE FACTORS BE NEGLECTED OR OTHERWISE MISMANAGED.

1. THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND EACH DRAWING HAS BEEN MARKED "ISSUED FOR CONSTRUCTION."

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140 WEST MAIN STREET HIGH BRIDGE, NJ 0882 PH. 908-238-0544 FAX 908-238-9572 A PROFESSIONAL ASSOCIATION CERTIFICATE OF AUTHORIZATION NO.: 24GA28021500 EXP. 8/31/2020

3 REV. PER BOROUGH COMMENTS EM 6/23/2020 2 REV. PER BOROUGH COMMENTS EM 5/19/2020 1 REV. PER ENGINEER CERTIFICATION EM 10/22/1 BY DATE REVISION

6/23/2020

JOHN HANSEN PROFESSIONAL ENGINEER N.J. P.E. NO. 24GE04194500

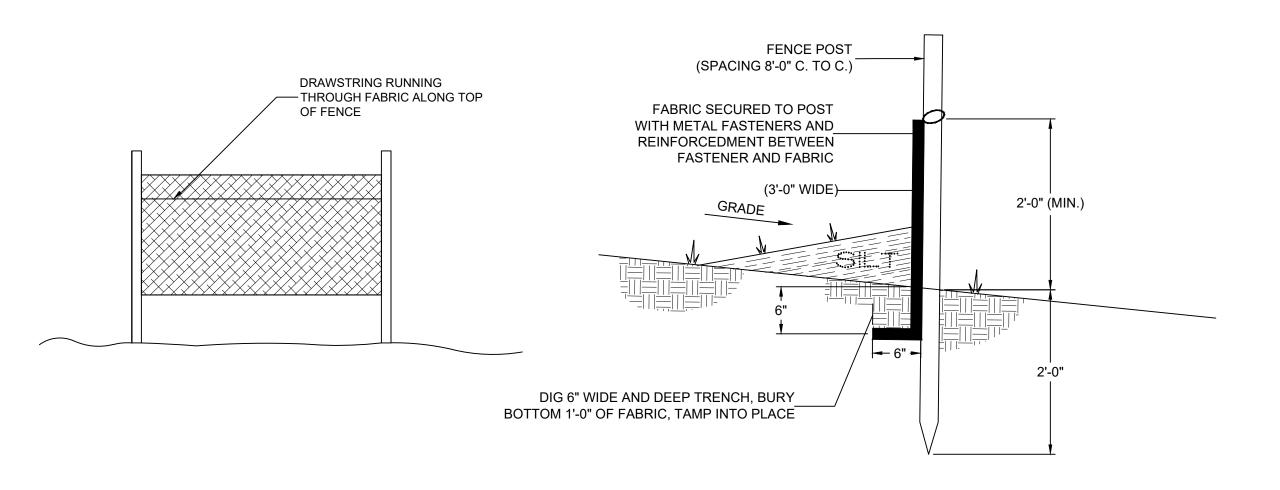
PROJECT:

6 EAST MAIN STREET PRELIMINARY AND FINAL MAJOR SITE PLAN BLOCK 601, LOT 3 MENDHAM BOROUGH

NEW JERSEY MORRIS COUNTY

SOIL EROSION & SEDIMENT CONTROL **NOTES & DETAILS**

19135 **AS SHOWN** EM CHECKED: **DETAILS.DWG** 09/09/2019

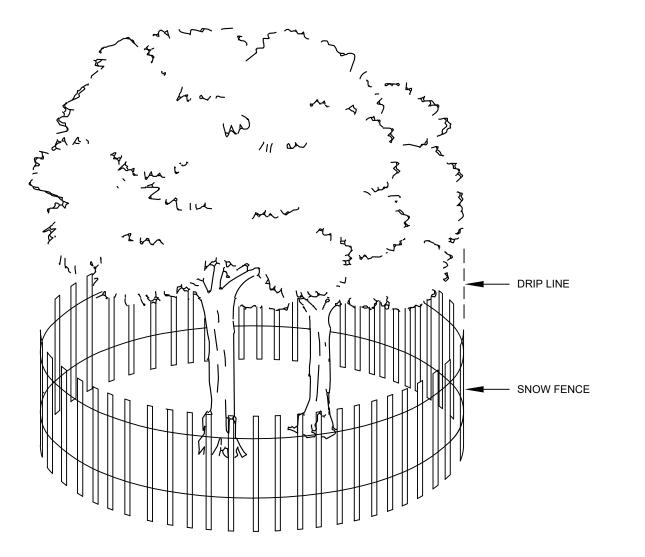


NOTE:

PROVIDE TEMPORARY GRASS
COVER AS SPECIFIED IN SCS
NOTES.

TEMPORARY STOCKPILE

TEMPORARY STOCKPILE



SILT FENCE DETAIL

INLET FILTER INSTALLATION WITHOUT FRAME AND GRATE WIRE SUPPORT - MOULD 6"x6", 5/5 GA. 49#/100 SQ. FT. WELDED WIRE SUPPORT. EXTEND 6" MIN. AT SIDES BACKFILL AFTER INSTALLATION OF INLET FILTER 1. CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM.

(4) INLET FILTER DETAIL

2. CONTRACTOR IS TO

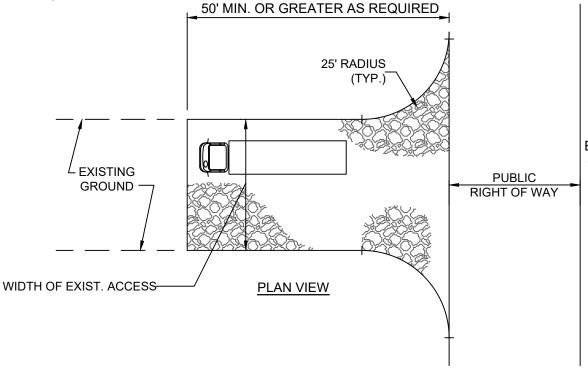
REMOVE FABRIC JUST

PRIOR TO PAVING.

DESIGN CRITERIA

EGRESS.

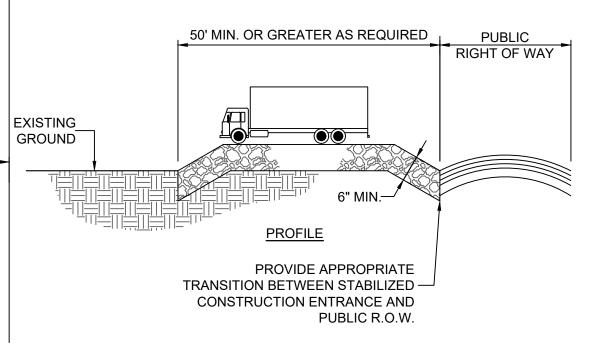
STONE SIZE - USE ASTM C-33, SIZE No. 2 (2 1/2 TO 1 1/2") OR 3 (2 to 1"). USE CLEAN CRUSHED ANGULAR STONE. CRUSHED CONCRETE OF SIMILAR SIZE MAY BE SUBSTITUTED BUT WILL REQUIRE MORE FREQUENT UPGRADING AND MAINTENANCE. THICKNESS-NOT LESS THAN SIX (6) INCHES. WIDTH-NOT LESS THAN FULL WIDTH OF POINTS OF INGRESS OR



THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO ROADWAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO ROADWAYS (PUBLIC OR PRIVATE) OR OTHER IMPERVIOUS SURFACES MUST BE REMOVED IMMEDIATELY.

WHERE ACCUMULATION OF DUST/SEDIMENT IS INADEQUATELY CLEANED OR REMOVED BY CONVENTIONAL METHODS, A POWER BROOM OR STREET SWEEPER WILL BE REQUIRED TO CLEAN PAVED OR IMPERVIOUS SURFACES. ALL OTHER ACCESS POINTS WHICH ARE NOT STABILIZED SHALL BE BLOCKED OFF.

MAINTENANCE



5 STABILIZED CONTRUCTION ACCESS

SIMPLIFIED TESTING METHODS

PROBING WIRE TEST- 15.5 GA STEEL WIRE (SURVEY FLAG)

NOTE: SOIL SHOULD BE MOIST BUT NOT
SATURATED. DO NOT TEST WHEN SOIL IS
EXCESSIVELY DRY OR SUBJECT TO FREEZING
TEMPERATURES: SLOW, STEADY DOWNWARD
PRESSURE USED TO ADVANCE THE WIRE.

WIRE MUST PENETRATE A MINIMUM OF
6" WITHOUT DEFORMATION.

WIRE MAY BE RE-INSERTED IF/WHEN
AN OBSTRUCTION (ROCK, ROOT,
DEBRIS) IS ENCOUNTERED

HANDHELD SOIL PENETROMETER TEST GAGE READING 300 PSI OR LESS AT NOTE: SOIL SHOULD BE MOIST BUT NOT SATURATED. DO NOT TEST WHEN SOIL IS EXCESSIVELY DRY OR SUBJECT TO FREEZING TEMPERATURES. SLOW, STEADY DOWNWARD PRESSURE USED TO ADVANCE THE PROBE. PROBE MUST PENETRATE AT LEAST 6" WITH LESS THAN 300 PSI READING ON THE GAGE. 6.0" MIN. VISIBLE MARK ON SHAFT AT PENETROMETER MAY BE RE-INSERTED IF/WHEN AN OBSTRUCTION (ROCK, ROOT, DEBRIS IS ENCOUNTERED. *USE CORRECT SIZE TIP FOR SOIL

6 SOIL COMPACTION DETAILS

SOIL DE-COMPACTION AND TESTING REQUIREMENTS

SOIL COMPACTION TESTING REQUIREMENTS

- 1. SUBGRADE SOILS PRIOR TO THE APPLICATION OF TOPSOIL (SEE PERMANENT SEEDING AND STABILIZATION NOTES FOR TOPSOIL REQUIREMENTS) SHALL BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
- 2. AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY DENOTED ON THE CERTIFIED SOIL EROSION CONTROL PLAN.
- 3. COMPACTION TESTING LOCATIONS ARE DENOTED ON THE PLAN. A COPY OF THE PLAN OR PORTION OF THE PLAN SHALL BE USED TO MARK LOCATIONS OF TESTS, AND ATTACHED TO THE COMPACTION REMEDIATION FORM, AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.
- 4. IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE SIMPLIFIED TESTING METHODS (SEE DETAILS BELOW), THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO PERFORM EITHER (1) COMPACTION MITIGATION OVER THE ENTIRE MITIGATION AREA DENOTED ON THE PLAN (EXCLUDING EXEMPT AREAS), OR (2) PERFORM ADDITIONAL, MORE DETAILED TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DETAILED TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL.

COMPACTION TESTING METHODS

- A. PROBING WIRE TEST (SEE DETAIL)
- B. HAND-HELD PENETROMETER TEST (SEE DETAIL)C. TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED
- D. NUCLEAR DENSITY TEST (LÌCENSED PROFESSIONAL ENGINEER REQUIRED)

NOTE: ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND

SPECIFICATIONS, AND WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL.

SOIL COMPACTION TESTING IS NOT REQUIRED IF/WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE (6" MINIMUM DEPTH)OR SIMILAR) IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION.

PROCEDURES FOR SOIL COMPACTION MITIGATION

PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.

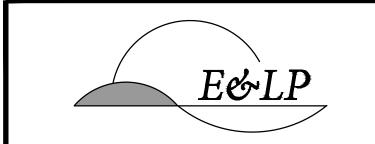
RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.). IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAYBE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL.

3 TREE PROTECTION DETAIL

NOTES:

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A PROFESSIONAL ASSOCIATION

CERTIFICATE OF AUTHORIZATION NO.: 24GA28021500 EXP. 8/31/2020

3	REV. PER BOROUGH COMMENTS	EM	6/23/2020
2	REV. PER BOROUGH COMMENTS	EM	5/19/2020
1	REV. PER ENGINEER CERTIFICATION	EM	10/22/19
NO.	REVISION	BY	DATE

6/23/2020 DATE

JOHN HANSEN PROFESSIONAL ENGINEER N.J. P.E. NO. 24GE04194500

PROJECT:

6 EAST MAIN STREET
PRELIMINARY AND FINAL
MAJOR SITE PLAN
BLOCK 601, LOT 3
MENDHAM BOROUGH

MORRIS COUNTY NEW JERSEY

SOIL EROSION & SEDIMENT CONTROL DETAILS

JOB NO.: 19135

SCALE: AS SHOWN

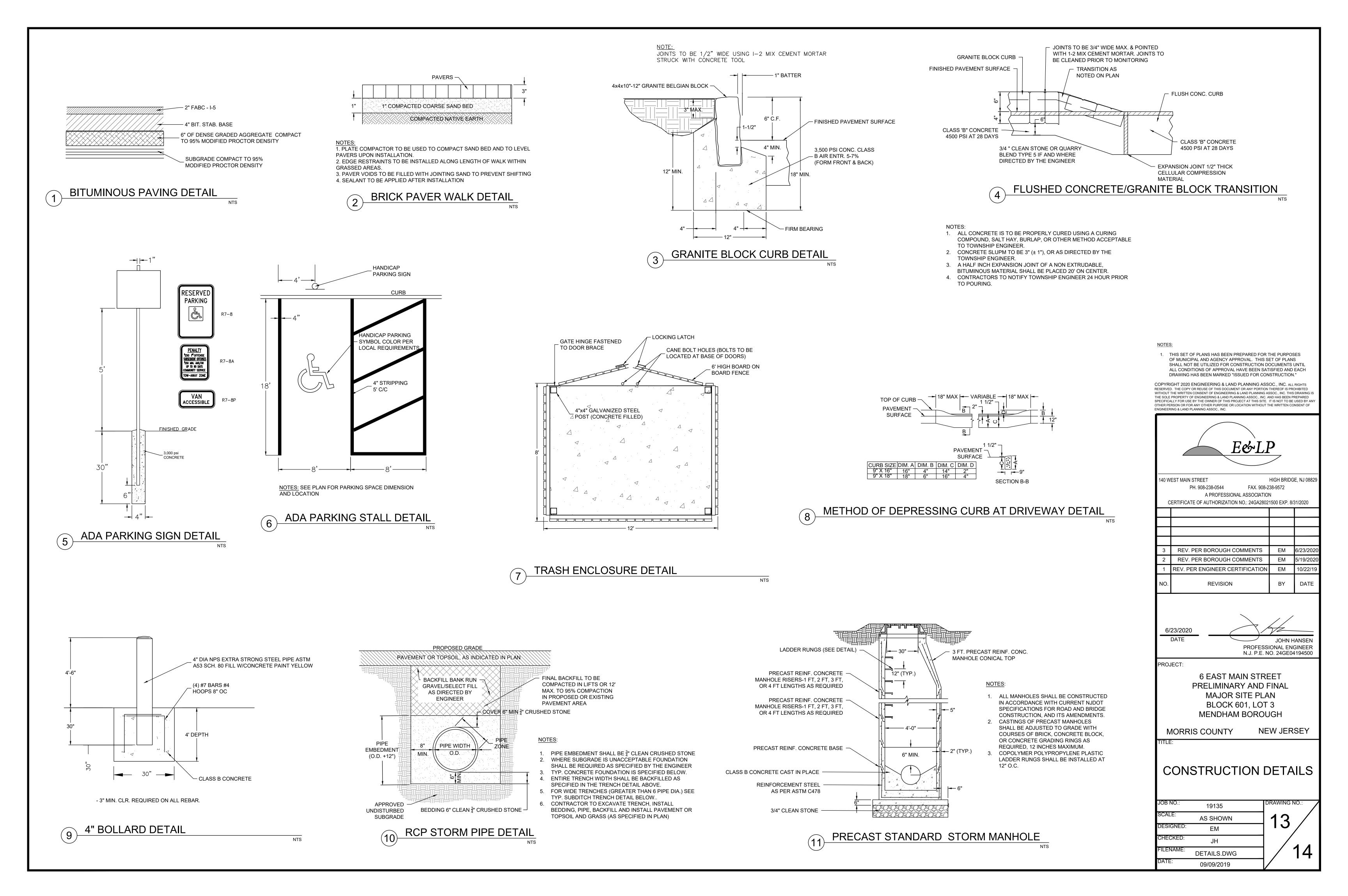
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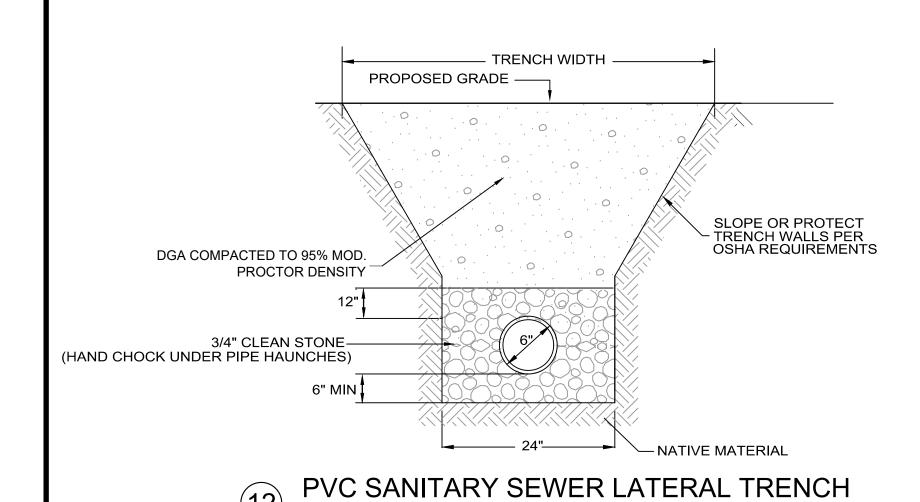
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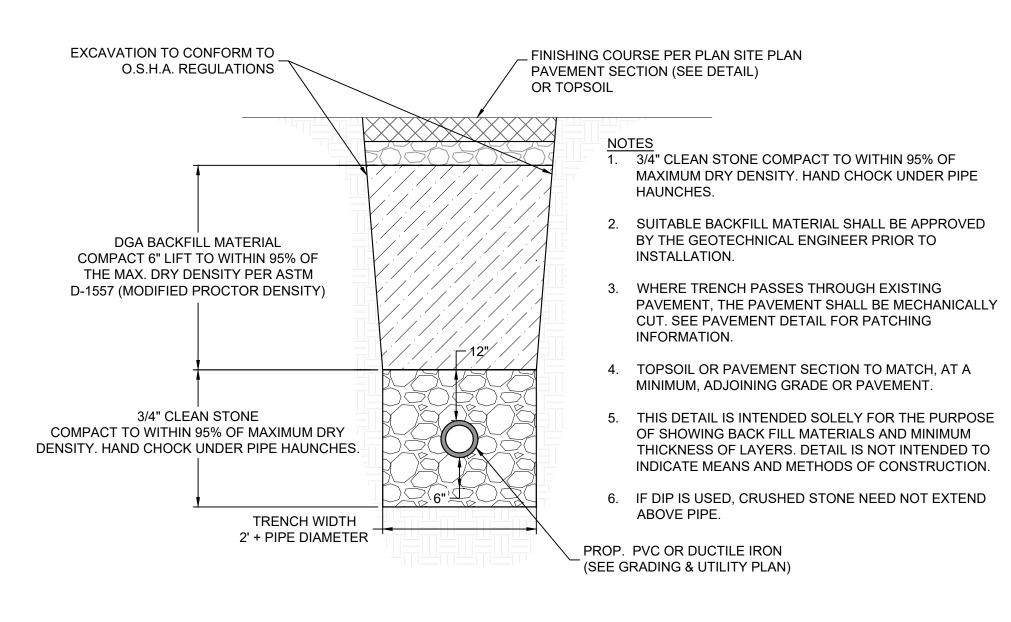
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DATE: 09/09/2019

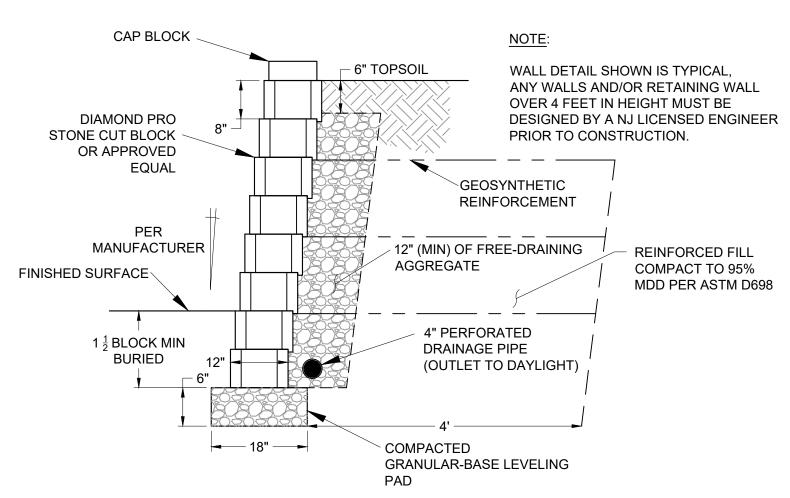
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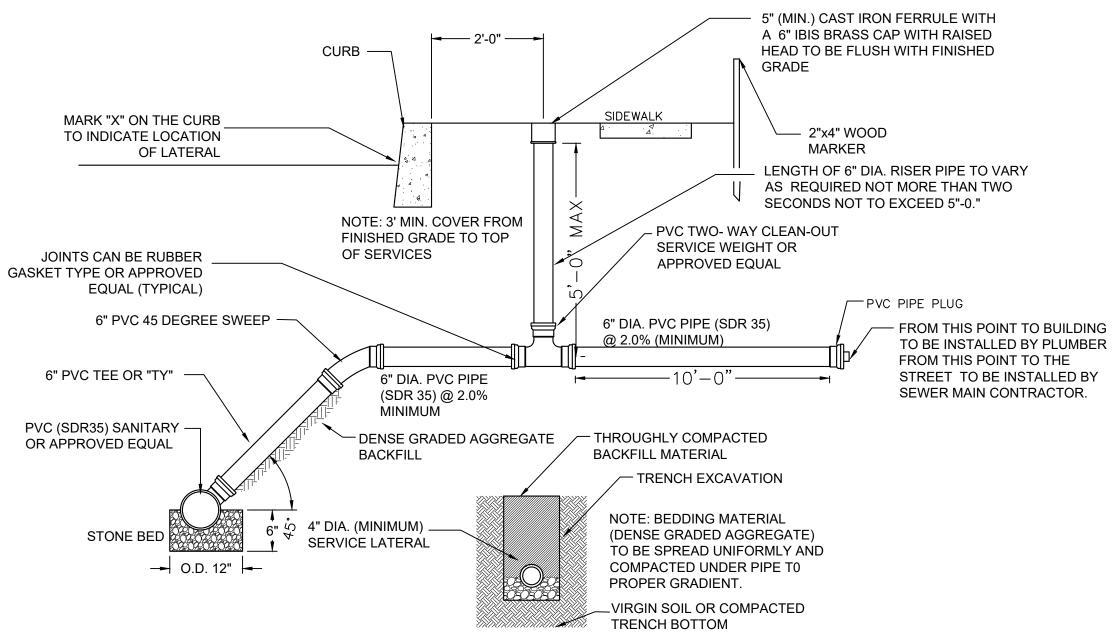


WATER SERVICE TRENCH DETAIL

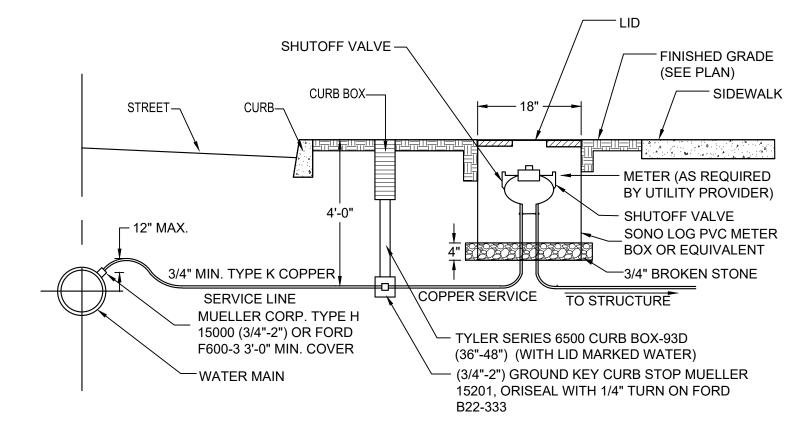


TYPICAL MODULAR BLOCK RETAINING WALL

NTS



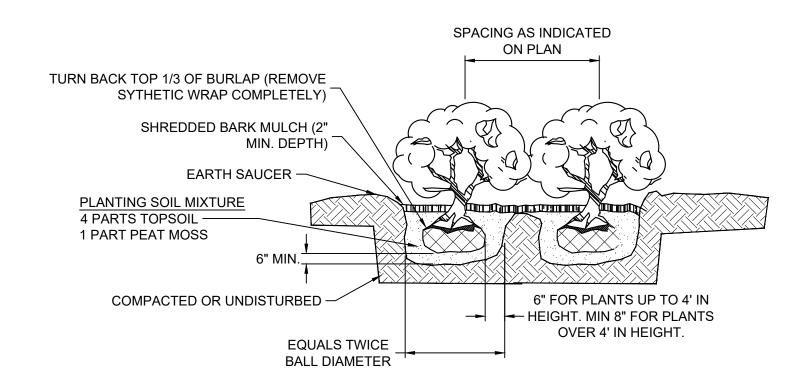
TYPICAL SANITARY LATERAL DETAIL



1. METER PIT AND CURB BOX MUST BE INSTALLED BETWEEN THE CURB AND THE SIDEWALK. METER SHALL BE INSTALLED 18" BELOW FINISHED GRADE (OR AS REQUIRED BY UTILITY PROVIDER) CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH UTILITY PROVIDER.

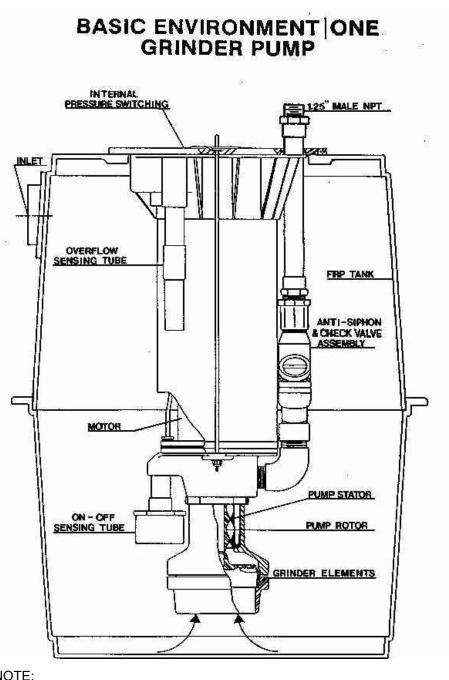
2. BACKFILL MATERIAL SHALL BE DENSE GRADED AGGREGATE WITH 6" MAXIMUM LIFTS ABOVE PIPE

WATER SERVICE DETAIL



NOTE: ALL SOD SHALL BE STRIPPED A MIN. OF 1 FOOT FROM THE EDGE OF THE SHRUB BALL AND THE AREA COVERED WITH MULCH.

TYPICAL SHRUB PLANTING



E260LED-007D7 EURO LED LIGHTED BOLLARD SPECIFICATIONS (OR APPROVED EQUAL)

THE MODELS E250LED-887B/E260LED-887B DECORATIVE EURO LIGHTED BOLLARDS ARE SMALL SCALE, CONTEMPORARY DESIGNS. THEY FEATURE A MULTI-TUBE CYLINDRICAL BODY, DECORATIVE ALUMINUM CAGE AND DOME

CONSTRUCTION

THE BOLLARD BASE SHAFT SHALL CONSIST OF A 5" DIAMETER ASTM 6061 EXTRUDED ALUMINUM TUBING HAVING A WALL THICKNESS OF 1/4" AND TEMPERED TO T6 CONDITION. THE ANCHOR FOOT BASE SHALL BE 117/8" DIAMETER AND MADE OF HEAVY WALL, 356 ALLOY CAST ALUMINUM AND SHALL BE VERTICALLY FASTENED TO THE BOLLARD HOUSING SHAFT. IT SHALL HAVE A 5/8" THICK FLOOR CAST AS AN INTEGRAL PART OF THE THE MAXIMUM OVERALL HEIGHT SHALL BE 50". THE LUMINAIRE SHALL BE SUPPLIED WITH LINE-GROUND, LINE-NEUTRAL AND NEUTRAL-GROUND ELECTRICAL SURGE PROTECTION IN ACCORDANCE WITH IEEE/ANSI C62.41.2 GUIDELINES. THE BOLLARD SHALL BE U.L. OR E.T.L. LISTED IN U.S. AND CANADA. THE BOLLARD HOUSING SHALL BE DIE-CAST ALUMINUM ALLOY FOR HIGH TENSILE STRENGTH OVERALL DIAMETER SHALL BE 13". THE HOUSING SHALL BE AN INTEGRAL PART OF THE BASE SHAFT TO PREVENT WATER AND DUST ENTRY INTO THE ENCLOSURE. THE E260LED-887B DIFFUSER SHALL BE MADE FROM VANDAL RESISTANT CLEAR (CA)OR FROSTED ACRYLIC (FA). THE E250LED/FLD SHALL HAVE A FLAT DIFFUSE ACRYLIC LENS COVERING THE LED ARRAYS.

DRIVER

THE LED DRIVER SHALL BE SECURELY MOUNTED INSIDE THE FITTER, FOR OPTIMIZED DRIVER PERFORMANCE AND LONGEVITY. THE LED DRIVER SHALL BE SUPPLIED WITH A QUICK-DISCONNECT ELECTRICAL CONNECTOR ON THE POWER SUPPLY, PROVIDING EASY POWER CONNECTIONS AND FIXTURE INSTALLATION. THE DRIVER SHALL BE A DC VOLTAGE OUTPUT, CONSTANT CURRENT DESIGN, 50/60 HZ.

LIGHT SOURCES

THE LUMINAIRE SHALL USE HIGH OUTPUT, HIGH BRIGHTNESS LEDS. THE LEDS SHALL BE MOUNTED IN ARRAYS, ON PRINTED CIRCUIT BOARDS DESIGNED TO MAXIMIZE HEAT TRANSFER TO THE HEAT SINK SURFACE. THE LEDS SHALL BE ATTACHED TO THE PRINTED CIRCUIT BOARD WITH NOT LESS THAN 90% PURE SILVER TO INSURE OPTIMAL ELECTRICAL AND THERMAL CONDUCTIVITY. THE LEDS AND PRINTED CIRCUIT BOARDS SHALL BE PROTECTED FROM MOISTURE AND CORROSION BY A CONFORMAL COATING OF 1 TO 3 MILS. THE LEDS AND PRINTED CIRCUIT BOARD CONSTRUCTION SHALL BE ENVIRONMENTALLY FRIENDLY AND 100% RECYCLABLE. THEY SHALL NOT CONTAIN LEAD, MERCURY

847-588-3400 • Fax 847-588-3440 OR ANY OTHER HAZARDOUS SUBSTANCES AND SHALL BE ROHS COMPLIANT. THE LED LIFE RATING DATA SHALL BE DETERMINED IN ACCORDANCE WITH IESNA LM-80.

FINISH

PRIOR TO COATING, THE LUMINAIRE SHALL BE CHEMICALLY CLEANED AND ETCHED IN A 5-STAGE WASHING SYSTEM WHICH INCLUDES ALKALINE CLEANING, RINSING, PHOSPHORIC ETCHING, REVERSE-OSMOSIS WATER RINSING AND NON-CHROME SEALING TO ENSURE CORROSION RESISTANCE AND EXCELLENT ADHESION FOR THE FINISH COAT. THE FINISH COAT SHALL BE AN ELECTROSTATICALLY APPLIED SEMI-GLOSS, SUPER DURABLE POLYESTER POWDER COAT, BAKED ON AT 400°F, TO PROVIDE A DURABLE, COLOR RETENTIVE FINISH. *THE _____ (VERDE GREEN OR SWEDISH IRON) FINISH SHALL BE HAND-BRUSHED USING A 3-STEP PROCESS. *(OPTION)

MODELS

E260LED

DRIVERS

PEC1

• ML-120 - 277 OpTIONS

3ARC45T5

www.sternberglighting.com

STANDARD FINISHES* • BKT Black Textured

555 Lawrence Ave. Roselle, IL 60172

Email: info@sternberglighting.com 12-13

BOLLARD MODEL LIGHT SOURCE DRIVER OPTIONS FINIS

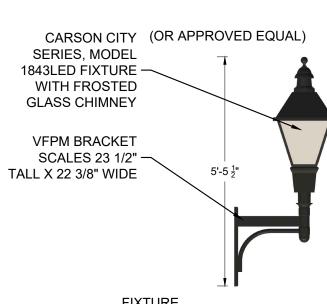
E260FA-887B / 3ARC45T5 / ML / PEC1 / BKT

LIGHT SOURCES

THREE, HOT-DIPPED GALVANIZED "L" TYPE ANCHOR BOLTS SHALL BE PROVIDED WITH THE POST FOR BOLLARD ANCHORAGE.

THE LUMINAIRE SHALL BE FREE FROM ALL DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF SEVEN (7) YEARS FROM THE DATE OF MANUFACTURE. THE LUMINAIRE MANUFACTURER SHALL WARRANT THE LED BOARDS/SYSTEM, DURING THE STATED WARRANTY PERIOD, AGAINST FAILURE DEFINED AS MORE THAN THREE SIMULTANEOUS NON-OPERATING LEDS. THE DRIVER SHALL BE WARRANTED FOR SEVEN (7) YEARS.





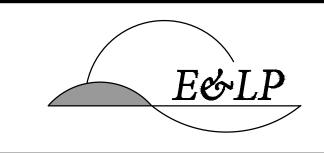
FIXTURE

THE 1843LED CARSON CITY SERIES MEASURES 18- 1/4" WIDE AND 41-3/4" TALL. THE LUMINAIRE SHALL BE MADE OF HEAVY WALL CAST ALUMINUM ALLOY. THE LUMINAIRE SHALL BE PROVIDED WITH A CAST ALUMINUM HINGED ROOF WITH OPTIMIZED HEAT SINKS TO PROVIDE MAXIMUM LIFE AND PERFORMANCE FOR THE LED LIGHT SOURCES. THE LUMINAIRE SHALL BE UL LISTED IN US AND CANADA.



1. THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND EACH DRAWING HAS BEEN MARKED "ISSUED FOR CONSTRUCTION."

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С	CERTIFICATE OF AUTHORIZATION NO.: 24GA28021500 EXP. 8/31/2020		
3	REV. PER BOROUGH COMMENTS	EM	6/23/2020
2	REV. PER BOROUGH COMMENTS	EM	5/19/2020
1	REV. PER ENGINEER CERTIFICATION	EM	10/22/19
NO.	REVISION	BY	DATE

6/23/2020

JOHN HANSEN PROFESSIONAL ENGINEER N.J. P.E. NO. 24GE04194500

PROJECT:

6 EAST MAIN STREET PRELIMINARY AND FINAL MAJOR SITE PLAN BLOCK 601, LOT 3 MENDHAM BOROUGH

NEW JERSEY MORRIS COUNTY

CONSTRUCTION DETAILS

19135 **AS SHOWN** EM CHECKED **DETAILS.DWG**

09/09/2019

