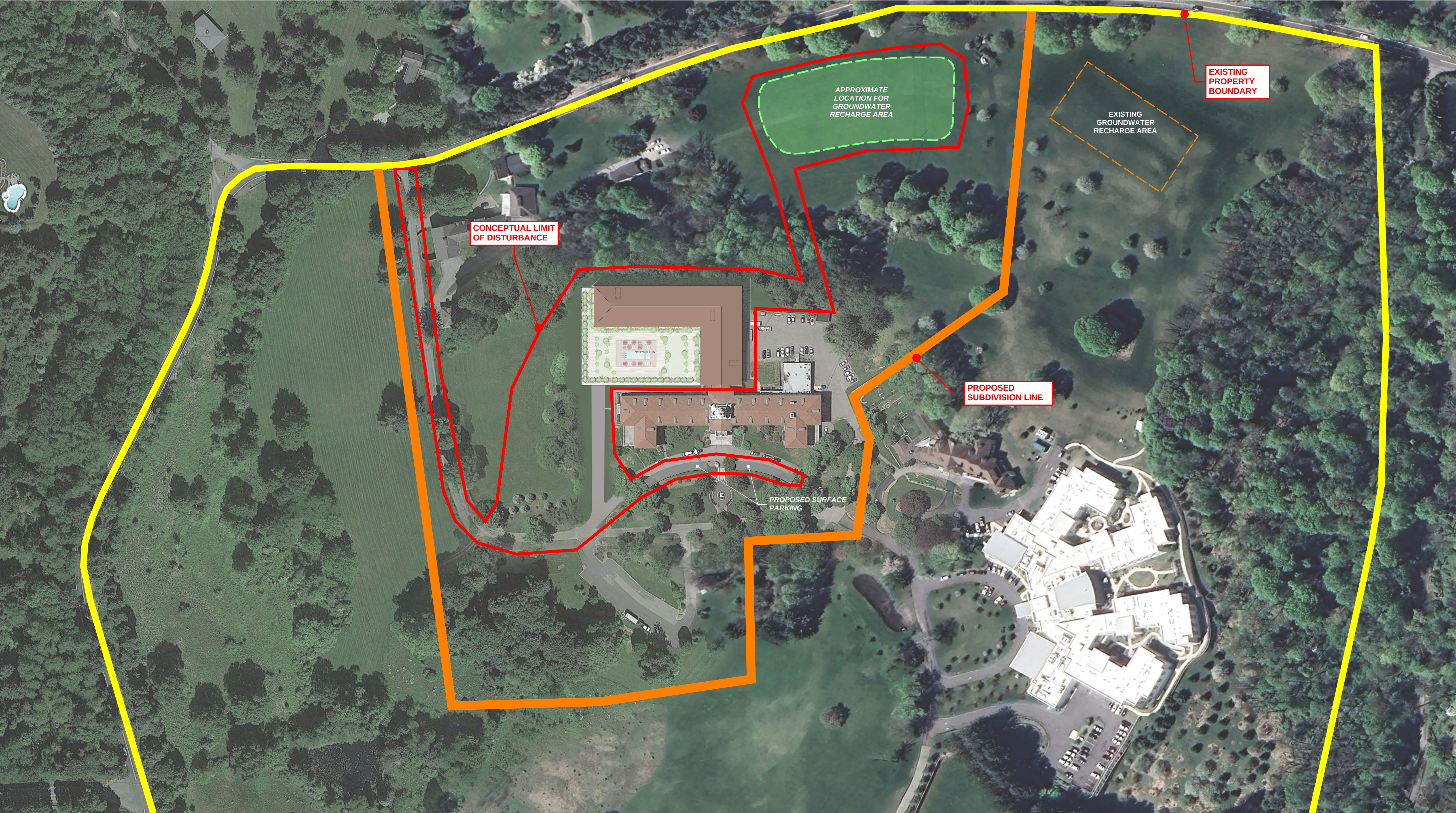




AERIAL - PROPOSED ROOF PLAN

SCALE: 1" = 80'-0"

CONCEPT SITE PLAN

DATE: 02/04/2026

350 BERNARDSVILLE ROAD

MENDHAM, NEW JERSEY



MAY 7, 2025

MINNO  WASKO
ARCHITECTS AND PLANNERS
80 LAMBERT LANE, SUITE 105, LAMBERTVILLE, NEW JERSEY 08530 MINNOWASKO.COM
TWO GATEWAY CENTER, SUITE 1700, NEWARK, NEW JERSEY 07102

PROGRAM SUMMARY

- UNITS:
- EXISTING BUILDING TO BE REHABBED - 64 DU
- 1BR = 03 DU
 - 2BR JR = 29 DU
 - 2BR = 24 DU
 - 3BR = 08 DU

- PROPOSED NEW ADDITION - 86 DU
- 1BR = 36 DU (AVG. SIZE = 800 SF)
 - 2BR = 50 DU (AVG. SIZE = 1,200 SF)

- TOTAL UNIT COUNT = 150 DU
- 1BR = 39 DU
 - 2BR JR = 29 DU
 - 2BR = 74 DU
 - 3BR = 08 DU

TOTAL AMENITY 2,450 SF

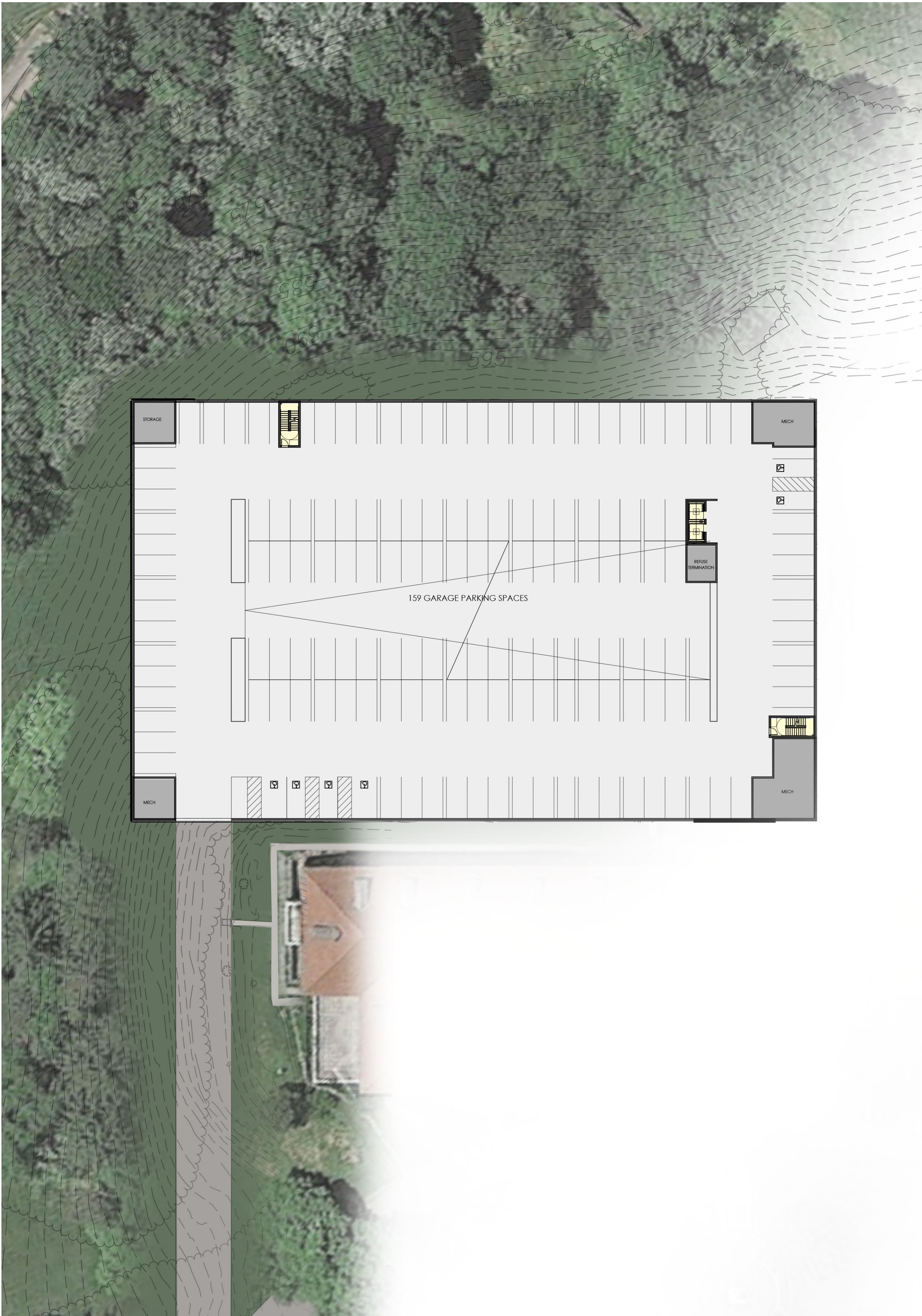
BUILDING HEIGHT 4 STORIES OVER 2 LEVELS PARKING

TOTAL GARAGE PARKING 221 SP



BASEMENT LEVEL 2 GARAGE FLOOR PLAN

SCALE: 1" = 30'-0"



BASEMENT LEVEL 1 GARAGE FLOOR PLAN

SCALE: 1" = 30'-0"

CONCEPT BUILDING PLAN

DATE: 05/07/2025

PROGRAM SUMMARY

- UNITS:
- EXISTING BUILDING TO BE REHABBED - 64 DU
- 1BR = 03 DU
 - 2BR JR = 29 DU
 - 2BR = 24 DU
 - 3BR = 08 DU
- PROPOSED NEW ADDITION - 86 DU
- 1BR = 36 DU (AVG. SIZE = 800 SF)
 - 2BR = 50 DU (AVG. SIZE = 1,200 SF)

- TOTAL UNIT COUNT = 150 DU
- 1BR = 39 DU
 - 2BR JR = 29 DU
 - 2BR = 74 DU
 - 3BR = 08 DU

TOTAL AMENITY 2,450 SF

BUILDING HEIGHT 4 STORIES OVER 2 LEVELS PARKING

TOTAL GARAGE PARKING 221 SP



GROUND LEVEL FLOOR PLAN

SCALE: 1" = 30'-0"

CONCEPT BUILDING PLAN

DATE: 05/07/2025

PROGRAM SUMMARY

UNITS:

EXISTING BUILDING TO BE REHABBED - 64 DU

- 1BR = 03 DU
- 2BR JR = 29 DU
- 2BR = 24 DU
- 3BR = 08 DU

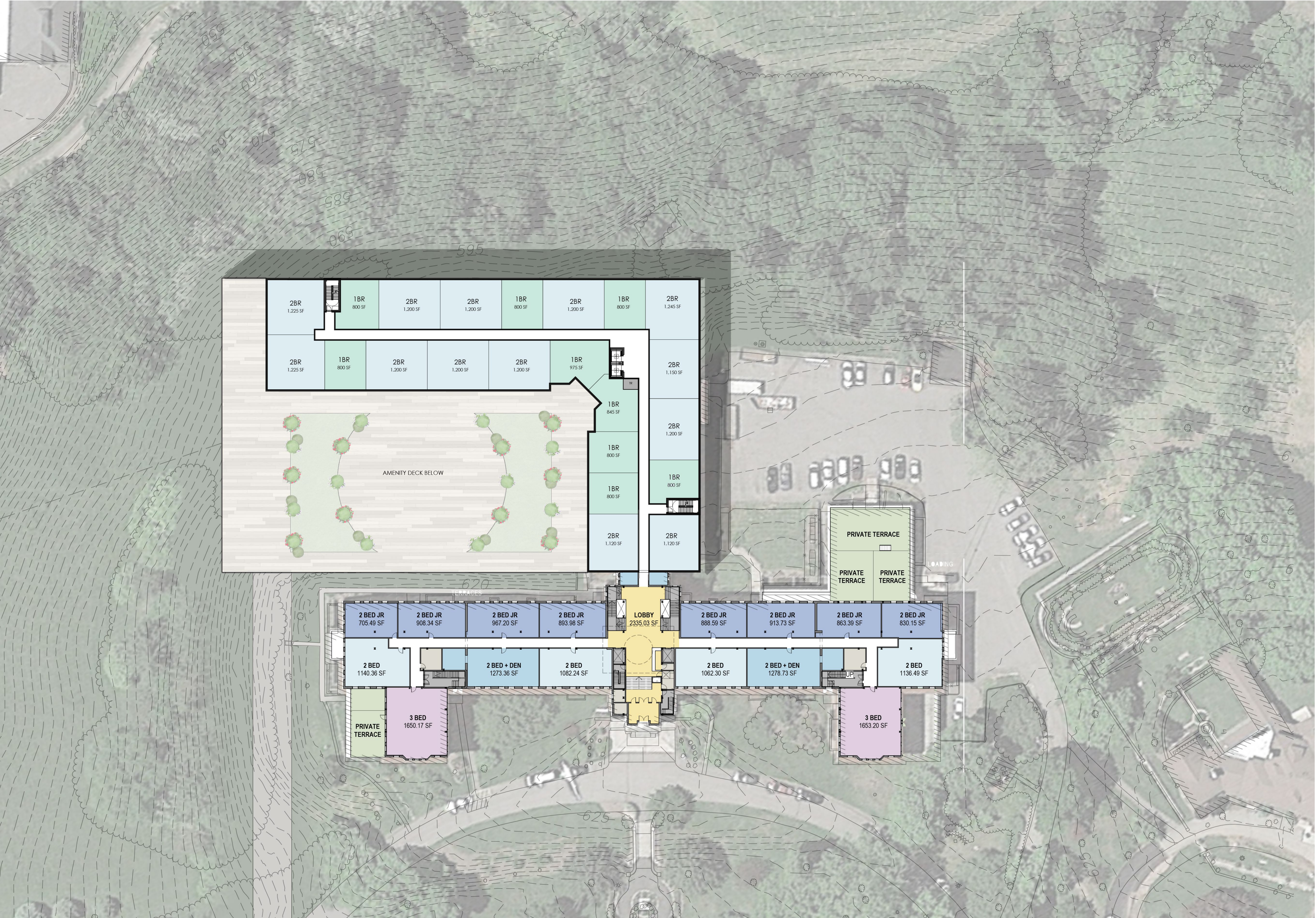
PROPOSED NEW ADDITION - 86 DU

- 1BR = 36 DU (AVG. SIZE = 800 SF)
- 2BR = 50 DU (AVG. SIZE = 1,200 SF)

TOTAL UNIT COUNT = 150 DU

- 1BR = 39 DU
- 2BR JR = 29 DU
- 2BR = 74 DU
- 3BR = 08 DU

TOTAL AMENITY 2,450 SF
BUILDING HEIGHT 4 STORIES OVER
2 LEVELS PARKING
TOTAL GARAGE PARKING 221 SP



2ND LEVEL FLOOR PLAN

SCALE: 1" = 30'-0"

CONCEPT BUILDING PLAN

DATE: 05/07/2025

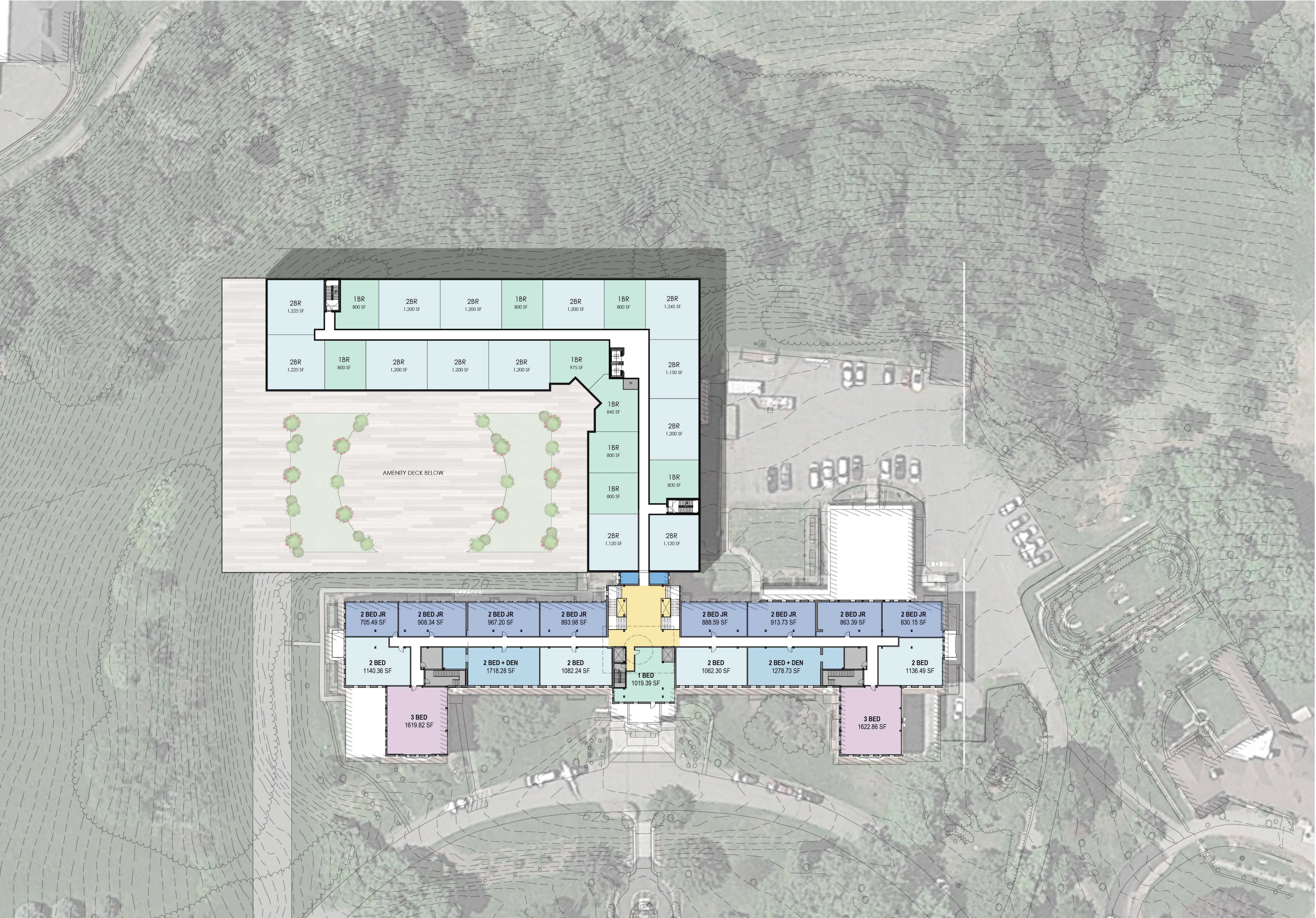
PROGRAM SUMMARY

UNITS:
EXISTING BUILDING TO BE REHABBED - 64 DU
•1BR = 03 DU
•2BR JR = 29 DU
•2BR = 24 DU
•3BR = 08 DU

PROPOSED NEW ADDITION - 86 DU
•1BR = 36 DU (AVG. SIZE = 800 SF)
•2BR = 50 DU (AVG. SIZE = 1,200 SF)

TOTAL UNIT COUNT = 150 DU
•1BR = 39 DU
•2BR JR = 29 DU
•2BR = 74 DU
•3BR = 08 DU

TOTAL AMENITY 2,450 SF
BUILDING HEIGHT 4 STORIES OVER
2 LEVELS PARKING
TOTAL GARAGE PARKING 221 SP



TYPICAL 3RD AND 4TH LEVEL FLOOR PLAN

SCALE: 1" = 30'-0"

CONCEPT BUILDING PLAN
DATE: 05/07/2025

PROGRAM SUMMARY

UNITS:
EXISTING BUILDING TO BE REHABBED - 64 DU

- 1BR = 03 DU
- 2BR JR = 29 DU
- 2BR = 24 DU
- 3BR = 08 DU

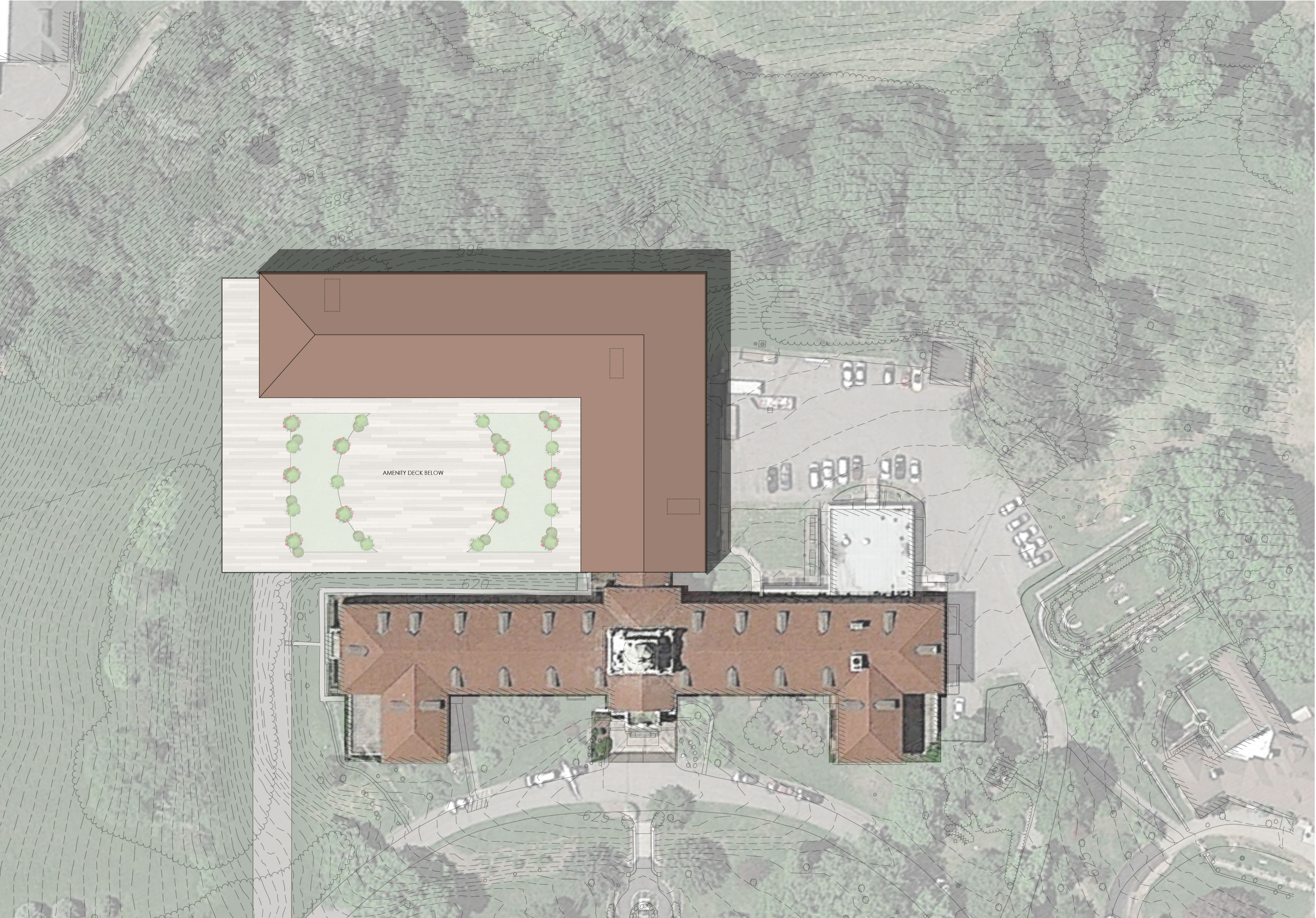
PROPOSED NEW ADDITION - 86 DU

- 1BR = 36 DU (AVG. SIZE = 800 SF)
- 2BR = 50 DU (AVG. SIZE = 1,200 SF)

TOTAL UNIT COUNT = 150 DU

- 1BR = 39 DU
- 2BR JR = 29 DU
- 2BR = 74 DU
- 3BR = 08 DU

TOTAL AMENITY	2,450 SF
BUILDING HEIGHT	4 STORIES OVER 2 LEVELS PARKING
TOTAL GARAGE PARKING	221 SP



ROOF PLAN

SCALE: 1" = 30'-0"

CONCEPT BUILDING PLAN
DATE: 05/07/2025