

**KEY MAP**  
SCALE: 1" = 2000'±

# PRELIMINARY AND FINAL SITE PLAN

## FOR

# V-FEE MENDHAM APARTMENTS, LLC

## PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT

BLOCK 801, LOT 20  
84-90 EAST MAIN STREET  
BOROUGH OF MENDHAM  
MORRIS COUNTY, NEW JERSEY



Know what's below  
Call before you dig.

**APPLICANT/OWNER**

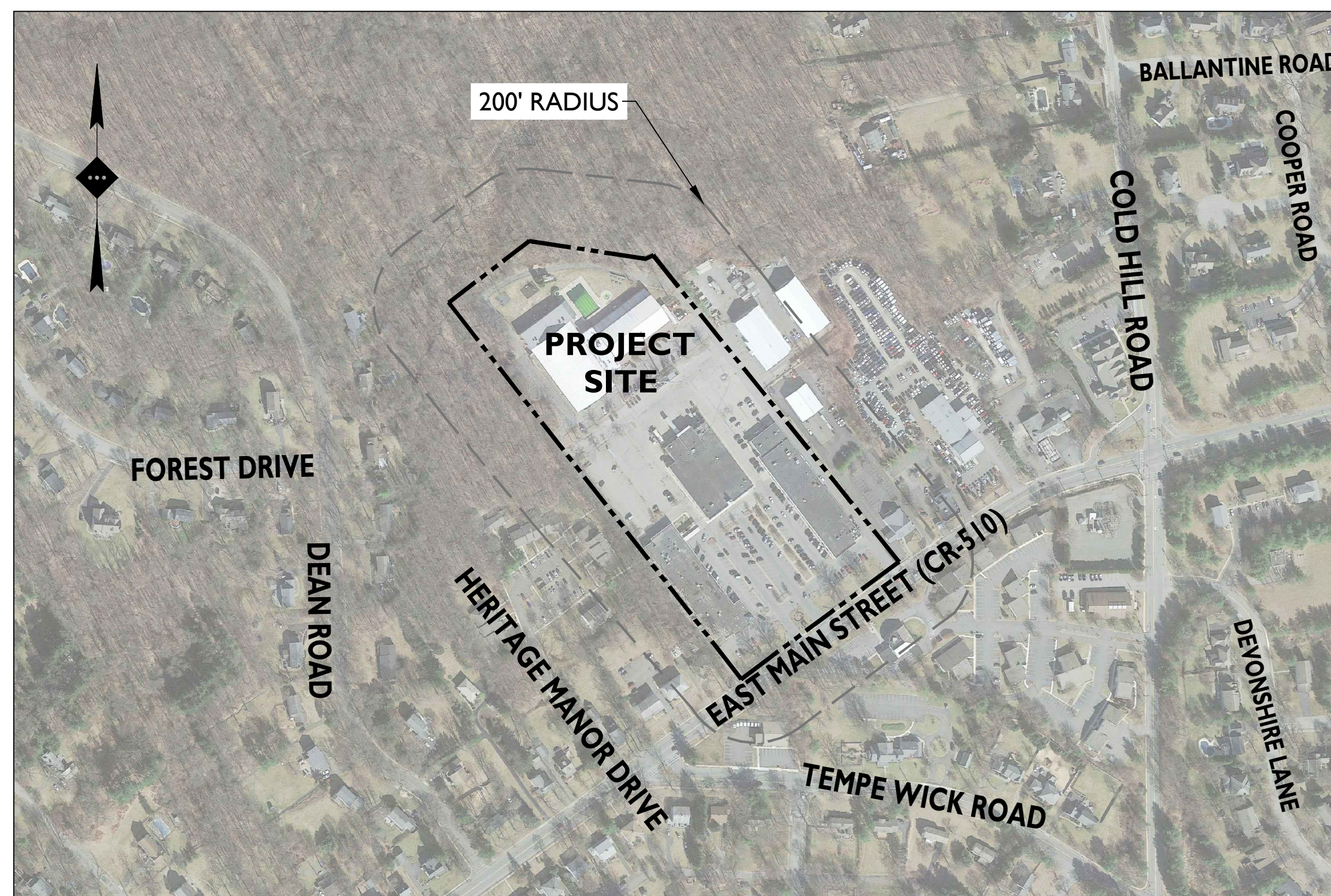
V-FEE MENDHAM APARTMENTS, LLC  
130 ROUTE 10 WEST  
WHIPPANY, NEW JERSEY 07981

**ATTORNEY**

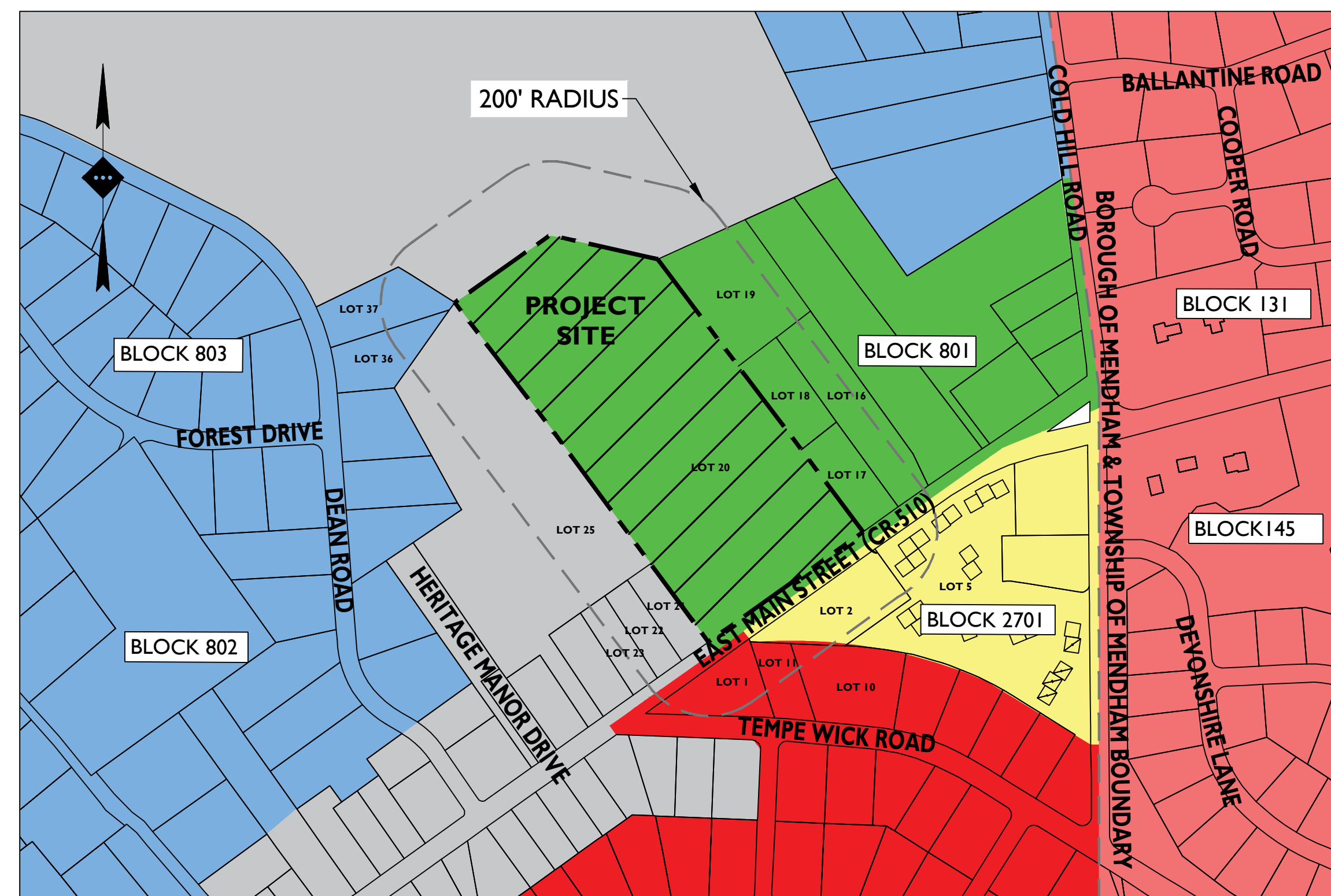
INGLESINO, WEBSTER, WYCISKALA & TAYLOR, LLC  
600 PARSIPPANY ROAD SUITE 204  
PARSIPPANY, NEW JERSEY 07054

**ZONING LEGEND**

[Grey Box]	1/4 ACRE RESIDENTIAL	[Green Box]	EAST BUSINESS
[Blue Box]	1 ACRE RESIDENTIAL	[Yellow Box]	LIMITED BUSINESS
[Red Box]	1/2 ACRE RESIDENTIAL	[Green with Diagonal Lines Box]	EAST BUSINESS AFFORDABLE HOUSING OVERLAY (EB-AH)
[Pink Box]	SINGLE FAMILY RESIDENTIAL		



**AERIAL MAP**  
SCALE: 1" = 300'±



**TAX & ZONING MAP**  
SCALE: 1" = 300'±

**BOROUGH AGENCIES TO BE NOTIFIED**

JCP&L, c/o FE SERVICE TAX DEPARTMENT PO BOX 1911 MORRISTOWN, NJ 07962-1911
VERIZON, c/o DUFF & PHELPS PO BOX 2749 ADDISON, TX 75001
AT&T 900 ROUTE 202/206 NORTH BEDMINSTER, NJ 07921
PUBLIC SERVICE ELECTRIC & GAS COMPANY 80 PARK PLAZA NEWARK, NJ 07102
MORRIS COUNTY PLANNING BOARD PO BOX 900 MORRISTOWN, NJ 07963-0900
AMERICAN WATER SSC/ GENERAL TAX DEPARTMENT PO BOX 5627 CHERRY HILL, NJ 08034
MENDHAM BOROUGH SEWER UTILITY 35 IRONIA ROAD MENDHAM, NJ 07945
COMCAST 300 RAHWAY AVENUE UNION, NJ 07083
CABLEVISION, ATTN: KATHY BAKER 683 ROUTE 10 RANDOLPH, NJ 07869

**BOROUGH OF MENDHAM 200' PROPERTY OWNERS LIST**

BLOCK	LOT	OWNER	OWNER'S ADDRESS
801	20	V-FEE-REALTY INVESTMENT LLC	130 RT. 10 WHIPPANY, NJ 07981
2701	1	UNITED STATES POSTAL SERVICE	33-d & 8th AVE. NEW YORK, NY 10098
2701	10	CPI MENDHAM I LLC / ET ALS	195 NORTH ST, STE. 100 TETERBORO, NJ 07608
2701	2	PROVIDENT BANK	P.O. BOX 36558 CHARLOTTE, NC 28236
2701	5-25H	MARINO, ROBERT J	PO BOX 494 MENDHAM, NJ 07945
2701	5-26J	ICONIC MEDICAL & WELLNESS CENTERS	48 KAHADANA ROAD, MORRISTOWN, NJ 07960
2701	5-27J	PHARMACARE INC	PO BOX 452 LEDGEWOOD, NJ 07852
2701	5-28J	PHARMACARE INC	PO BOX 452 LEDGEWOOD, NJ 07852
2701	5-29J	PHARMACARE INC	PO BOX 452 LEDGEWOOD, NJ 07852
501	44	BOROUGH OF MENDHAM	2 W MAIN STREET, MENDHAM, NJ 07945
801	16	HOWARD, MARY	153 OLD STAGECOACH RD, GILBERT, PA 15122
801	17	HOLCOMBE MENDHAM, LLC	805 THIRD AVE, 18 TH FLOOR NEW YORK, NY 10022
801	18	RAYTOM ENTERPRISES LLC	96 E MAIN STREET, MENDHAM, NJ 07945
801	19	SCHILLING, HERBERT H JUNIOR	120 MEADOWBROOK ROAD, LIVINGSTON, NJ 07039
801	20	V-FEE-REALTY INVESTMENT LLC	130 RT. 10 WHIPPANY, NJ 07981
801	20-T01	V-FEE-REALTY INVESTMENT LLC	130 RT. 10 WHIPPANY, NJ 07981
801	21	VAZQUEZ, DAVID / SWANSON, BRANDY	11 GUNTHER ST MENDHAM, NJ 07945
801	22	MENDHAM VILLAGE PROPERTIES LLC	PO BOX 198 IRONIA, NJ 07945
801	23	MENDHAM VILLAGE PROPERTIES LLC	PO BOX 198 IRONIA, NJ 07945
801	25	BOROUGH OF MENDHAM	2 W MAIN STREET, MENDHAM, NJ 07945
801	36	LAM, JAMES/EISE	27 DEAN ROAD, MENDHAM, NJ 07945
801	37	LONG, DAVID D & ANGELINE G	29 DEAN ROAD, MENDHAM, NJ 07945

**PLAN REFERENCE MATERIALS:**

- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
  - TAX MAP OBTAINED FROM THE BOROUGH OF MENDHAM'S TAX MAP, SHEET 8, DATED: JULY 2010.
  - ALTA / NSPS LAND TITLE SURVEY PREPARED BY STONFIELD ENGINEERING & DESIGN, LLC DATED 07/15/2021
  - ARCHITECTURAL PLANS PREPARED BY MARCHETTO HIGGINS STIEVE ARCHITECTURE, P.C. LAST REVISED 07/20/2022
  - ZONING MAP OBTAINED FROM THE BOROUGH OF MENDHAM'S ZONING MAP, DATED: 01/18/2012
  - AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO, DATED 02/22/2020
  - USGS MAP OBTAINED FROM MENDHAM QUADRANGLE NJ 7.5 MINUTE SERIES USGS MAP, DATED 2019
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

PLANS PREPARED BY:



Rutherford, NJ · New York, NY · Boston, MA  
Princeton, NJ · Tampa, FL · Detroit, MI  
www.stonefieldeng.com

Headquarters: 92 Park Avenue, Rutherford, NJ 07070  
Phone 201.340.4468 · Fax 201.340.4472

CONSENT TO THE FILING OF THIS SITE PLAN WITH THE PLANNING BOARD OF THE BOROUGH OF MENDHAM

BOARD CHAIRPERSON \_\_\_\_\_ DATE \_\_\_\_\_

BOROUGH OF MENDHAM PLANNING BOARD APPROVAL

BOARD CHAIRPERSON \_\_\_\_\_ DATE \_\_\_\_\_

BOARD SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_

BOARD ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

**SHEET INDEX**

DRAWING TITLE	SHEET #
COVER SHEET	C-1
EXISTING CONDITIONS PLAN	C-2
DEMOLITION PLAN	C-3 TO C-4
SITE PLAN (OVERALL)	C-5
SITE PLAN	C-6 TO C-7
GRADING & DRAINAGE PLAN	C-8 TO C-9
STORMWATER MANAGEMENT PLAN	C-10 TO C-11
UTILITY PLAN	C-12
LIGHTING PLAN	C-13 TO C-14
SOIL EROSION & SEDIMENT CONTROL PLAN	C-15 TO C-16
LANDSCAPING PLAN	C-17 TO C-19
LANDSCAPING DETAILS	C-20
CONSTRUCTION DETAILS	C-21 TO C-24
TRUCK TURNING	C-25 TO C-27
PAVING EXHIBIT	C-28

NO.	DATE	ISSUE	PK	BY	DESCRIPTION
1	10/20/2023				FOR MUNICIPAL SUBMISSION

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MORRIS COUNTY, NEW JERSEY

MATTHEW J. SECKLER, P.E.  
NEW JERSEY LICENSE No. 48731  
LICENSED PROFESSIONAL ENGINEER

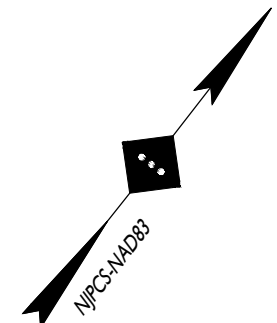
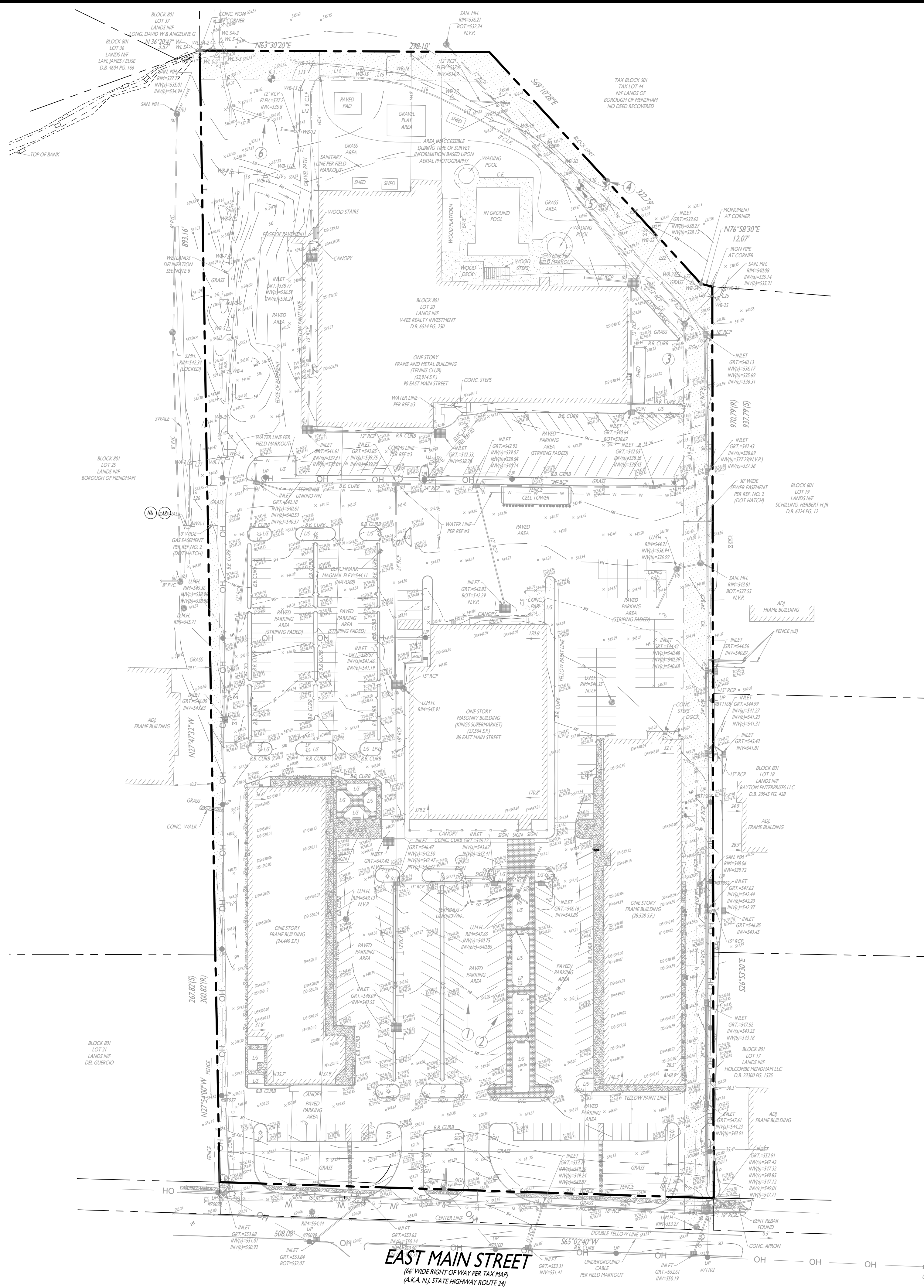
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SCALE: AS SHOWN PROJECT ID: RUT-200218

TITLE: **COVER SHEET**

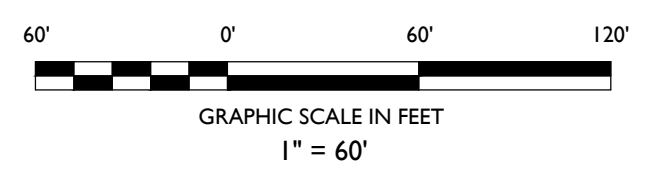
DRAWING: **C-1**





SYMBOL	DESCRIPTION
[Hatched Box]	BUILDING
[Dotted Box]	CONCRETE SIDEWALK / MAT
[Double Line]	ASPHALT / CONCRETE CURB
[Dashed Line]	DEPRESSED CURB
[Thin Solid Line]	PROPERTY LINE
[Line with 'X']	CHAIN LINK FENCE
[Line with 'Z']	BOARD-ON-BOARD FENCE
[Line with 'G']	GUIDE RAIL
[Line with 'L']	MAST ARM LP
[Line with 'P']	POLE
[Line with 'S']	LP
[Line with 'V']	SIGNS
[Line with 'W']	WATER VALVE
[Line with 'G']	GAS VALVE
[Line with 'D']	DRAIN
[Line with 'I']	INLET
[Line with 'M']	MAN HOLE
[Line with 'B']	BOLLARDS
[Line with 'M']	MONITORING WELL
[Line with 'B']	BOX (ELEC. GAS, ETCSS)
[Dashed Line]	EDGE OF PAVEMENT
[Line with 'CE']	CONCRETE EDGE
[Line with 'GE']	GRAVEL EDGE
[Line with 'BE']	BRICK EDGE
[Line with 'OH']	OVERHEAD WIRE
[Line with 'G']	UNDERGROUND GAS LINE
[Line with 'W']	UNDERGROUND WATER LINE
[Line with '100']	MAJOR CONTOUR
[Line with '101']	MINOR CONTOUR
[Line with 'x 100.00']	GRADE SPOT SHOT
[Line with 'x TC 100.50']	TOP OF CURB SHOT
[Line with 'x BC 100.50']	BOTTOM OF CURB SHOT
[Line with 'x TW 102.00']	TOP OF WALL SHOT
[Line with 'x BW 100.00']	BOTTOM OF WALL SHOT
[Line with 'H']	HANDICAP PARKING
[Line with 'LS']	LAND SCAPING
[Line with '#']	PICTURE LOCATION AND DIRECTION
[Line with 'B-#']	WETLAND DATA SHEET

**SURVEY NOTES:**  
 1. THE SURVEY LISTED WITHIN THE PLAN REFERENCES ON THE COVER SHEET SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THE SURVEY AND ASSOCIATED DOCUMENTS SHALL BE UTILIZED IN CONJUNCTION WITH THE PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE SURVEY AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.



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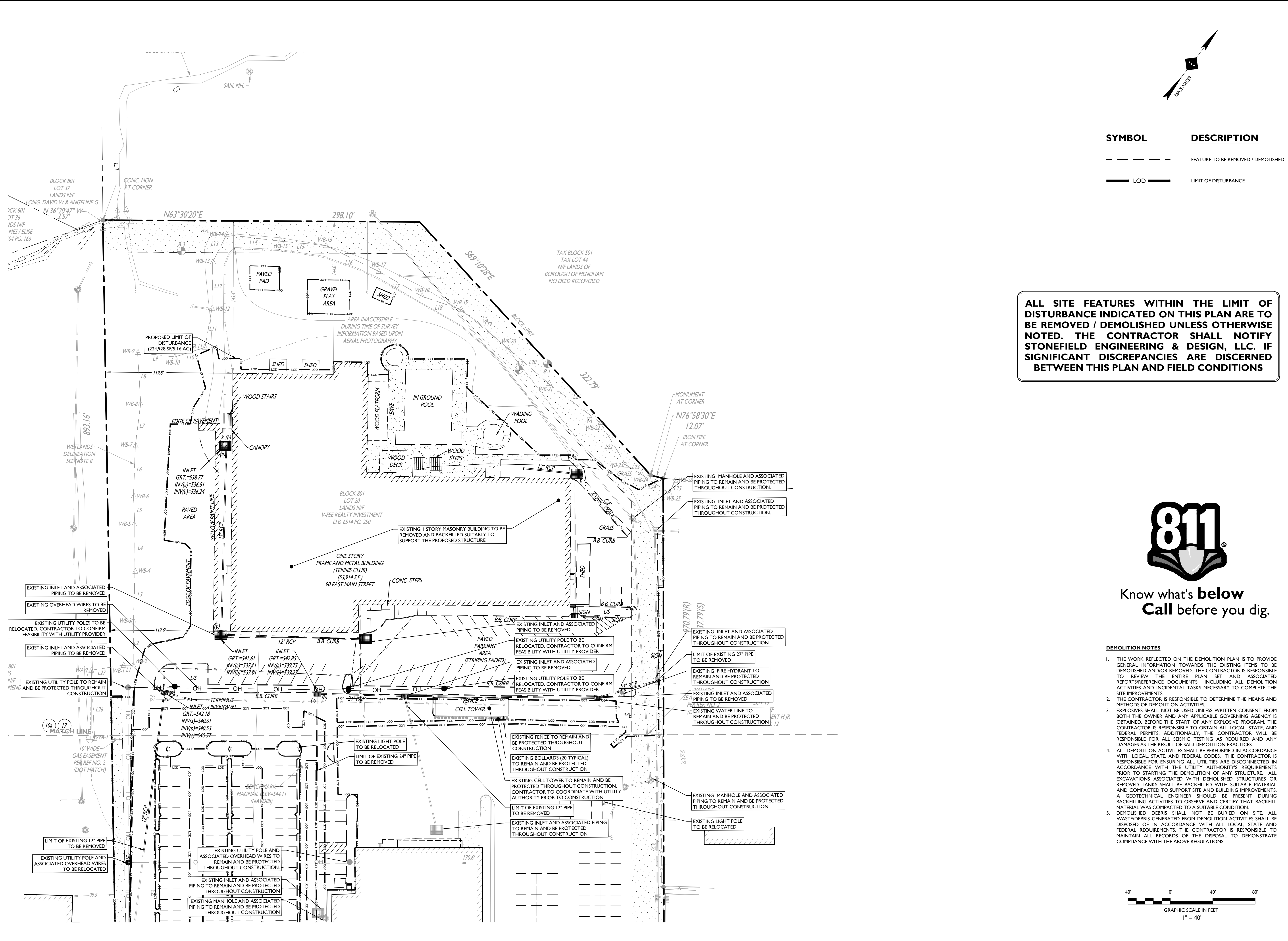
SCALE: 1" = 60' PROJECT ID: RUT-200218

TITLE:  
**EXISTING CONDITIONS PLAN**

DRAWING:  
**C-2**

2: RUTHERFORD, NJ 07070 30021 HOI DEVELOPMENT - 84-90 EAST MAIN STREET, MENDHAM, NJ MORRIS COUNTY, NEW JERSEY

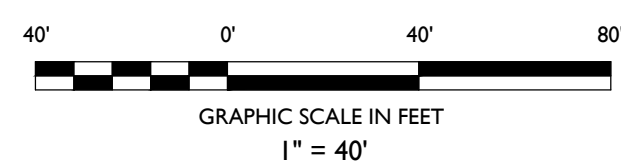




**ALL SITE FEATURES WITHIN THE LIMIT OF DISTURBANCE INDICATED ON THIS PLAN ARE TO BE REMOVED / DEMOLISHED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN AND FIELD CONDITIONS**



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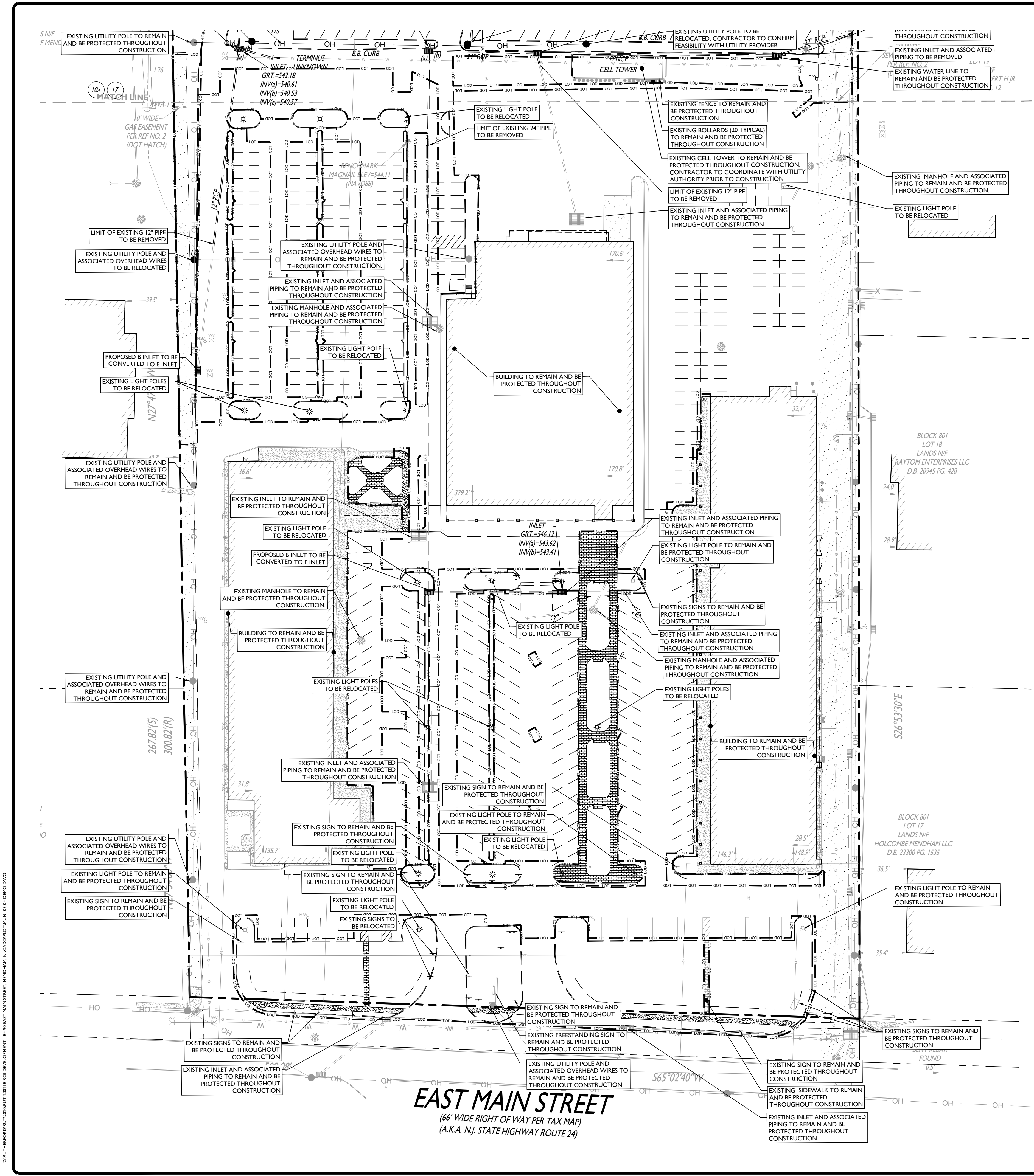
SCALE: 1" = 40' PROJECT ID: RUT-200218

TITLE:  
**DEMOLITION PLAN**

DRAWING:

**C-3**





SYMBOL	DESCRIPTION
---	FEATURE TO BE REMOVED / DEMOLISHED
---	LOD
---	LIMIT OF DISTURBANCE

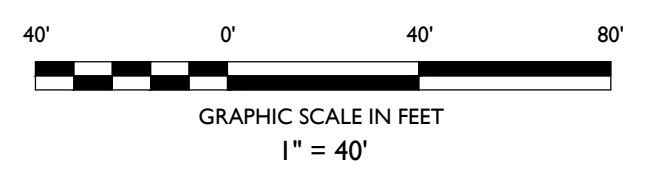
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**DEMOLITION NOTES**

1. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
2. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
3. EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED. BEFORE THE START OF ANY EXPLOSIVE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
4. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
5. DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.



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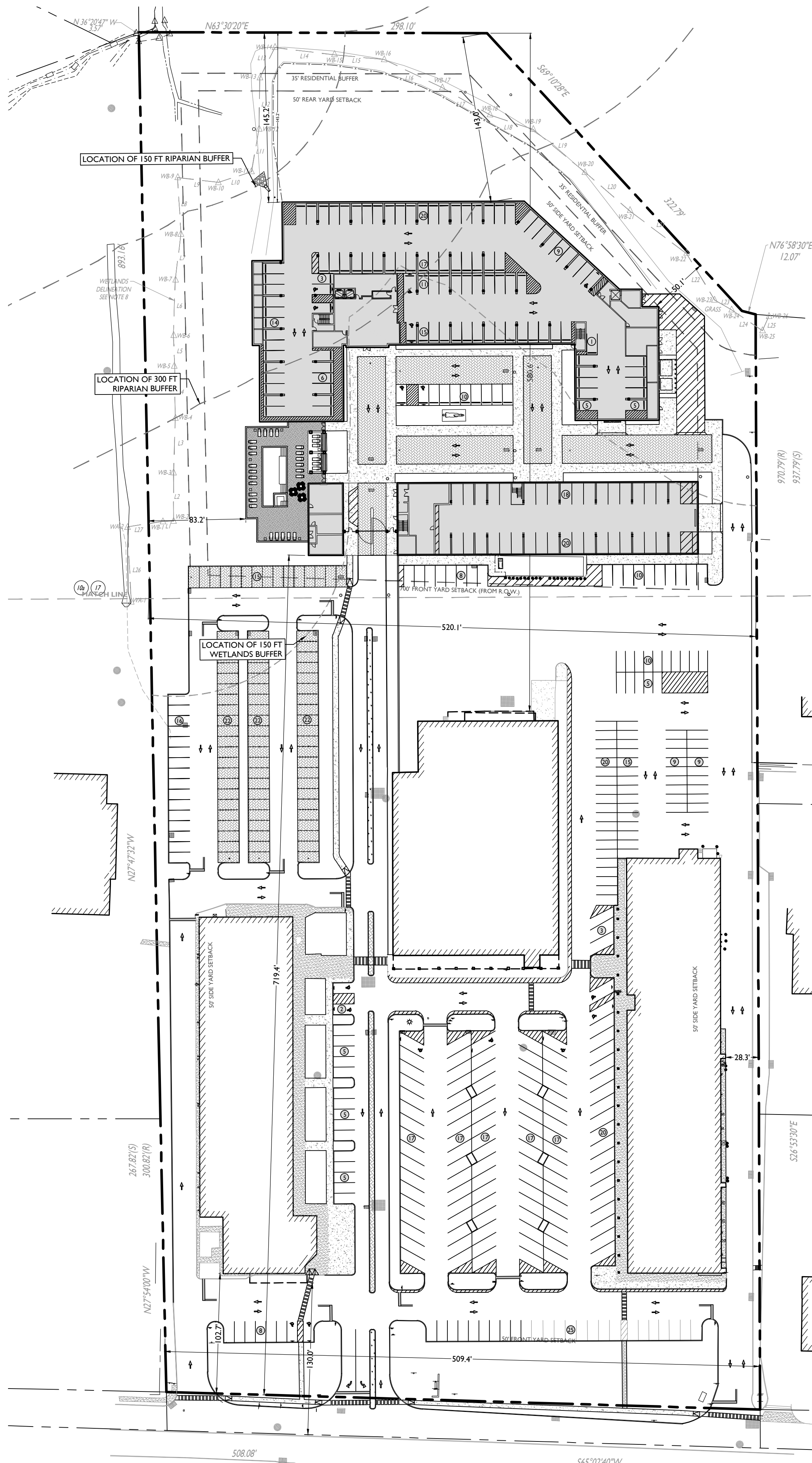
SCALE: 1" = 40' PROJECT ID: RUT-200218

TITLE:  
**DEMOLITION PLAN**

DRAWING:  
**C-4**

Z:\PROJECTS\2023\202307-202311\HOI DEVELOPMENT - 84-90 EAST MAIN STREET - MENDHAM, NJ\CD\20231103\10430.DWG





LAND USE AND ZONING			
BLOCK 801, LOT 20			
EAST BUSINESS ZONE (EB) / EAST BUSINESS - AFFORDABLE HOUSING (EB-AH) OVERLAY			
<b>PROPOSED USE</b>			
MULTI-FAMILY RESIDENTIAL	PERMITTED USE		
HEALTH CLUBS & RECREATIONAL FACILITIES	PERMITTED ACCESSORY USE		
TENANT PREMIUM PARKING	PERMITTED ACCESSORY USE		
AUTOMOTIVE SALES & SERVICE	PERMITTED USE		
SHOPPING CENTER	PERMITTED USE		
<b>ZONING REQUIREMENT</b>	<b>REQUIRED</b>	<b>EXISTING</b>	<b>PROPOSED</b>
MINIMUM LOT AREA	3 AC (130,680 SF)	13.27 AC (577,865 SF)	13.27 AC (577,865 SF)
MINIMUM LOT WIDTH	200 FT	509.4 FT	509.4 FT
MINIMUM FRONT YARD SETBACK	50 FT	130.0 FT	130.0 FT
MINIMUM SIDE YARD SETBACK	50 FT	28.3 FT (EN)	28.3 (EN)
MINIMUM REAR YARD SETBACK	50 FT	132.2 FT	143.0 FT
MAXIMUM BUILDING HEIGHT *	4 STORIES OVER PARKING / 60 FT	< 60 FT	60 FT
MAXIMUM IMPERVIOUS COVERAGE	80% (462,292 SF)	78.4% (452,785 SF)	74.0% (427,902 SF)
MAXIMUM NUMBER OF UNITS	75 UNITS	N/A	75 UNITS
MINIMUM RECREATIONAL AREA	5,000 SF	N/A	> 5,000 SF

(EN) EXISTING NON-CONFORMITY  
 (\*) VERTICAL DISTANCE TO THE TOP OF THE HIGHEST POINT OF THE BUILDING MEASURED FROM THE AVERAGE ELEVATION OF THE PROPOSED FINISHED GRADE AT EACH CORNER OF THE BUILDING NEXT TO THE FOUNDATION

GENERAL REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 195-51	PROVISION SHALL BE MADE FOR THE PROPER STORAGE AND COLLECTION OF REFUSE. ALL SUCH STORAGE SHALL BE MAINTAINED WITHIN THE CONFINES OF AN ENCLOSED BUILDING OR STRUCTURE AND SHALL BE REASONABLY ACCESSIBLE FOR VEHICULAR COLLECTION ON THE SITE OR SHALL BE APPROPRIATELY SCREENED AND LANDSCAPED WHERE OUTDOOR STORAGE IS NECESSARY.	COMPLIES
§ 195-55 B. (4)	IN ANY MULTISTORY BUILDING AN ELEVATOR SUFFICIENT IN SIZE TO ACCOMMODATE A WHEELCHAIR SHALL BE PROVIDED.	COMPLIES
§ 215-29 A. (1)	NO ACCESSORY BUILDING SHALL BE OVER 3 STORIES HIGH IN ANY ZONE. ANY ACCESSORY BUILDINGS ERRECTED WITHIN BETWEEN 5 AND 12 FT OF A PROPERTY LINE SHALL NOT BE OVER ONE STORY IN HEIGHT.	COMPLIES
§ 215-29 A. (2)	NO ACCESSORY BUILDING SHALL BE LOCATED WITHIN 10 FT OF A WALL OF A MAIN BUILDING UNLESS ATTACHED THERETO.	COMPLIES
§ 215-29 B. (1)	A SOLID, OR A PARTIALLY OPEN, FENCE UNDER 2 1/2 FEET IN HEIGHT MAY BE ERRECTED IN ANY PORTION OF A LOT.	COMPLIES
§ 215-29 B. (4)	ALL FENCES PERMITTED UNDER THIS SECTION SHALL BE SITUATED ON A LOT IN SUCH A MANNER THAT THE FINISHED SIDE SHALL FACE ADJACENT PROPERTIES AND ADJACENT PUBLIC OR PRIVATE STREETS.	COMPLIES

OFF-STREET PARKING & LOADING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 195-45 B. (2)	PARKING SHALL NOT BE LOCATED IN A REQUIRED FRONT YARD, EXCEPT WHERE THE REQUIRED FRONT YARD EXCEEDS 20 FT. PARKING SHALL BE PERMITTED IN AN AREA LOCATED 30 FT OR MORE FROM THE STREET ROW LINE, PROVIDED THAT NOT MORE THAN 1/2 OF THE REQUIRED FRONT YARD SETBACK AREA IS UTILIZED FOR PARKING.	COMPLIES
§ 195-45 B. (3)	ANY PARKING AREA LOCATED BETWEEN THE PRINCIPAL BUILDING AND THE MINIMUM FRONT YARD SETBACK SHALL BE LANDSCAPED OR SCREENED. NO PARKING AREA SHALL BE LOCATED CLOSER THAN 5 FT TO ANY SIDE OR REAR LOT LINE OR CLOSER THAN 25 FT TO A RESIDENTIAL ZONE.	COMPLIES
§ 195-45 B. (4)	PARKING SHALL NOT BE LOCATED CLOSER THAN 25 FT TO ANY TWO INTERSECTING STREETS OR WITHIN THE SIGHT TRIANGLE OF ANY DRIVEWAY AND THE STREET ROW.	COMPLIES
§ 195-45 C. (1)(b)	ONLY ONE-WAY TRAFFIC SHALL BE PERMITTED IN AISLES LESS THAN 24 FT. MINIMUM AISLE WIDTH 90' PARKING = 18 FT 90' PARKING = 24 FT AISLE	18 FT 24 FT
§ 195-45 D. (2)(a)	MINIMUM SIGHT DISTANCE 35' SIDEWALKWAY: 33' SIGHT DISTANCE	NO CHANGE
§ 195-45 D. (4)	NO PART OF ANY DRIVEWAY SHALL BE LOCATED CLOSER THAN 20 FT TO ANY OTHER DRIVEWAY ON AN ADJOINING PARCEL, NOR SHALL MORE THAN ONE DRIVEWAY BE LOCATED CLOSER THAN 40 FT TO ANOTHER DRIVEWAY ON THE SAME SITE.	COMPLIES
§ 195-46 K. (1)	GRANITE CURBING IS REQUIRED ALONG THE PERIMETER OF ANY INTERIOR PLANTED AREA AND ON THE INTERIOR SIDE OF ANY REQUIRED PLANTED BUFFER AREA. CURBING IN ANY OTHER AREA SHALL ALSO BE GRANITE BLOCK CURBING.	COMPLIES
§ 195-46 A.	MINIMUM NUMBER OF LOADING SPACES RESIDENTIAL DEVELOPMENT: CONTAINING 30 OR MORE DWELLING UNITS = 1 SPACE RETAIL: 80,615 SF = 2 SPACES TOTAL = 3 LOADING SPACES	1 SPACE NO CHANGE
§ 195-46 B.	MINIMUM LOADING SPACE SIZE WIDTH: 13 FT LENGTH: 35 FT CLEARANCE: 12 FT	24 FT X 90 FT
§ 195-46 C.	EXCEPT FOR REQUIRED BUFFER AREAS, EACH LOADING SPACE MAY OCCUPY ANY REQUIRED SIDE OR REAR YARD, BUT SHALL NOT BE LOCATED IN THE REQUIRED FRONT YARD WHEN ADJOINING A RESIDENTIAL USE, A SUITABLY SCREENED OR LANDSCAPED BUFFER SHALL BE PROVIDED.	COMPLIES
§ 195-46 D.	OFF-STREET LOADING SPACES SHALL NOT BE LOCATED WITHIN ANY FIRE PREVENTION ZONE, WITHIN 25 FT OF ANY FIRE HYDRANT OR WITHIN 10 FT OF ANY STAIRWAY, DOORWAY, ELEVATOR, OR OTHER GENERAL MEANS OF ENTRY TO AND FROM A BUILDING FOR THE GENERAL PUBLIC.	COMPLIES
§ 195-46 E.	NO VEHICLE OR CONVEYANCE SHALL IN ANY MANNER USE PUBLIC STREETS, SIDEWALKS, OR RIGHTS-OF-WAY FOR LOADING OR UNLOADING OPERATIONS OTHER THAN INGRESS OR EGRESS TO THE LOT.	COMPLIES
§ 195-54 C. (1)	A MINIMUM OF 1% OF THE TOTAL NUMBER OF PARKING SPACES BUT NOT LESS THAN TWO PARKING SPACES SHALL BE DESIGNATED FOR PHYSICALLY HANDICAPPED PERSONS. SAID SPACES SHALL BE MOST ACCESSIBLE AND APPROXIMATE TO THE BUILDING OR BUILDINGS WHICH THE PARKING SPACE SHALL SERVE.	COMPLIES
§ 195-54 C. (2)	EACH SPACE OR GROUP OF SPACES SHALL BE IDENTIFIED WITH A CLEARLY VISIBLE SIGN DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESS, ALONG WITH THE FOLLOWING WORDING: THESE SPACES RESERVED FOR PHYSICALLY HANDICAPPED DRIVERS.	COMPLIES
§ 195-54 C. (3)	MINIMUM ADA SPACE WIDTH 12 FT	COMPLIES
§ 215-74 B. (4)(ii)	MINIMUM PARKING SETBACK 3 FT (FROM LOT LINES WITHIN ZONE) 10 FT (FROM OTHER ZONES)	COMPLIES
§ 215-74 F. (1)(a)	MINIMUM NUMBER OF STALLS 3.5 SPACES / 1,000 SF OF FLOOR AREA (80,615 SF) / (3.5 / 1,000) = 282.2 SPACES TOTAL = 288 SPACES	341 SPACES SHARED PARKING: 15 SPACES
RSS / MEMORANDUM § 521-4.14b	MINIMUM NUMBER OF STALLS RESIDENTIAL: 1.88 GARDEN APARTMENT: (1.8 SPACES / UNIT) * 33 UNITS = 59.4 SPACES 2.88 GARDEN APARTMENT: (2.0 SPACES / UNIT) * 39 UNITS = 78 SPACES 3.88 GARDEN APARTMENT: (2.1 SPACES / UNIT) * 3 UNITS = 6.3 SPACES TOTAL = 143.7	116 SPACES SHARED PARKING: 15 SPACES
§ 195-45 A.	AUTOMOBILE SERVICE STATION: 4 SPACES PER BAY * 1 FOR EACH EMPLOYEE IN THE MAXIMUM SHIFT 2 EMPLOYEES = 2 SPACES 10% REDUCTION FOR EV: 145.7 SPACES * (0.10) = 14.57 SPACES 145.7 - 14.57 = 131.13 SPACES TOTAL = 131 SPACES	2 SPACES TOTAL: 133 SPACES *
§ 215-74 F. (2)(a)	MINIMUM STALL SIZE 9 FT X 20 FT (BEYOND 750 FT SETBACK) 10 FT X 20 FT	9 FT X 18 FT (v)

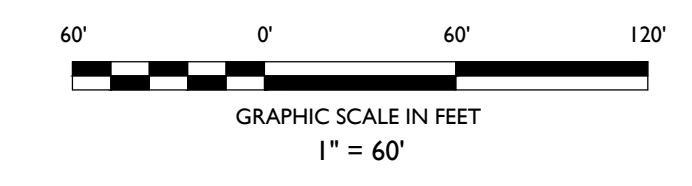
(v) VARIANCE  
 NOTE ONLY 2 PARKING SPACES ARE COUNTED FROM THE AUTO SALES & SERVICES THAT WILL BE DESIGNATED TO EMPLOYEES. THE REMAINING 38 SPACES ARE ASSUMED TO BE FOR AUTO SALES & SERVICES, AND AS SUCH, HAVE NOT BEEN CONSIDERED.

SIGNAGE REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED*
§ 215-8. D. (1)(a)	NO MORE THAN ONE FREESTANDING SIGN SHALL BE PERMITTED ON A LOT REGARDLESS OF THE NUMBER OF ESTABLISHMENTS ON THE PROPERTY.	TBD
§ 215-8. D. (1)(b)	MAXIMUM FREESTANDING SIGN AREA 25 SF	TBD
§ 215-8. D. (1)(c)	MAXIMUM HEIGHT SHALL NOT EXCEED 10 FT ABOVE THE EXISTING GRADE.	TBD
§ 215-8. D. (2)(a)	THE SIGN AREA OF WALL SIGNS SHALL NOT EXCEED 5% OF THE AREA OF THE BUILDING FACE FRONTING ON THE STREET, AS MEASURED BY THE WIDTH TIMES THE HEIGHT TO THE ROOFLINE OR THE CEILING OF THE SECOND STORY, WHICHEVER IS LESS.	TBD
§ 215-8. D. (2)(c)	SIGNAGE IN WINDOWS SHALL NOT EXCEED 30% OF THE WINDOW SURFACE AREA.	TBD
§ 215-8. E. (6)(a)	LIGHTS FOR SIGNS SHALL BE BY WHITE LIGHT ONLY.	TBD
§ 215-8. E. (6)(b)	LIGHTS FOR SIGNS SHALL BE SO SHIELDED THAT THE LIGHT PRODUCED SHALL NOT SHINE ON ADJACENT PROPERTIES.	TBD
§ 215-8. E. (6)(c)	NO SIGN SHALL HAVE ITS LIGHT SOURCE FROM WITHIN THE SIGN.	TBD
§ 215-8. E. (6)(d)	NO SIGNS UTILIZING LED OR LCD TECHNOLOGY SHALL BE PERMITTED.	TBD
§ 215-8. E. (7)	THE OUTSIDE DIMENSIONS OF ALL STRUCTURAL FRAMES OR SUPPORTS FOR A FREESTANDING SIGN SHALL NOT EXCEED THE SIGN AREA HEIGHT OR WIDTH BY MORE THAN 2 FT.	TBD
§ 215-8. E. (8)	NO WALL SIGN SHALL PROJECT MORE THAN 8 INCHES BEYOND THE BUILDING WALL TO WHICH IT IS AFFIXED.	TBD
§ 215-8. E. (9)	NO SIGN SHALL BE ABOVE THE TOP OR BEYOND THE ENDS OF THE WALL SURFACE UPON WHICH IT IS PLACED.	TBD
§ 215-8. E. (11)	DIRECTIONAL SIGNS HAVING AN AREA LESS THAN 4 SF ARE EXEMPT FROM SIGN ALLOWANCE, AREA AND LOCATION REGULATIONS, PROVIDED THAT THEY DO NOT CONSTITUTE A HAZARD TO THE PUBLIC.	TBD
§ 215-8. G.	PROHIBITED SIGNS IN ALL ZONES BILLBOARDS NEON LIGHTING ELECTRONIC MESSAGE BOARDS LED AND LCD SIGNS ROOF SIGNS	TBD

(\*) AT THE CURRENT TIME NO SIGNAGE HAS BEEN PROPOSED.

SYMBOL	DESCRIPTION
---	PROPERTY LINE
- - - -	SETBACK LINE
- . - . - .	SAWCUT LINE
==	PROPOSED FLUSH CURB
---	PROPOSED CURB
○	PROPOSED SIGNS / BOLLARDS
■	PROPOSED BUILDING
□	PROPOSED CONCRETE
▨	PROPOSED PERMEABLE PAVERS
▩	PROPOSED FULL DEPTH ASPHALT
▧	PROPOSED DECORATIVE PAVERS
⌒	PROPOSED BUILDING DOORS

- GENERAL NOTES**
- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
  - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
  - ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC, AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
  - THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
  - THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
  - THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
  - THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
  - CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW BY STONEFIELD ENGINEERING & DESIGN, LLC. WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
  - THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
  - THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
  - THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
  - SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.



PK	DATE	ISSUE	DESCRIPTION
1	10/20/2023		FOR MUNICIPAL SUBMISSION

NOT APPROVED FOR CONSTRUCTION

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 www.stonefielddesign.com

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 Phone 201.340.4468 • Fax 201.340.4472

**V-FEE MENDHAM APARTMENTS, LLC**

**PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT**

BLOCK 801, LOT 20  
 84-90 EAST MAIN STREET  
 BOROUGH OF MENDHAM  
 MORRIS COUNTY, NEW JERSEY

MATTHEW J. SECKLER, P.E.  
 NEW JERSEY LICENSE NO. 48721  
 LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
 engineering & design

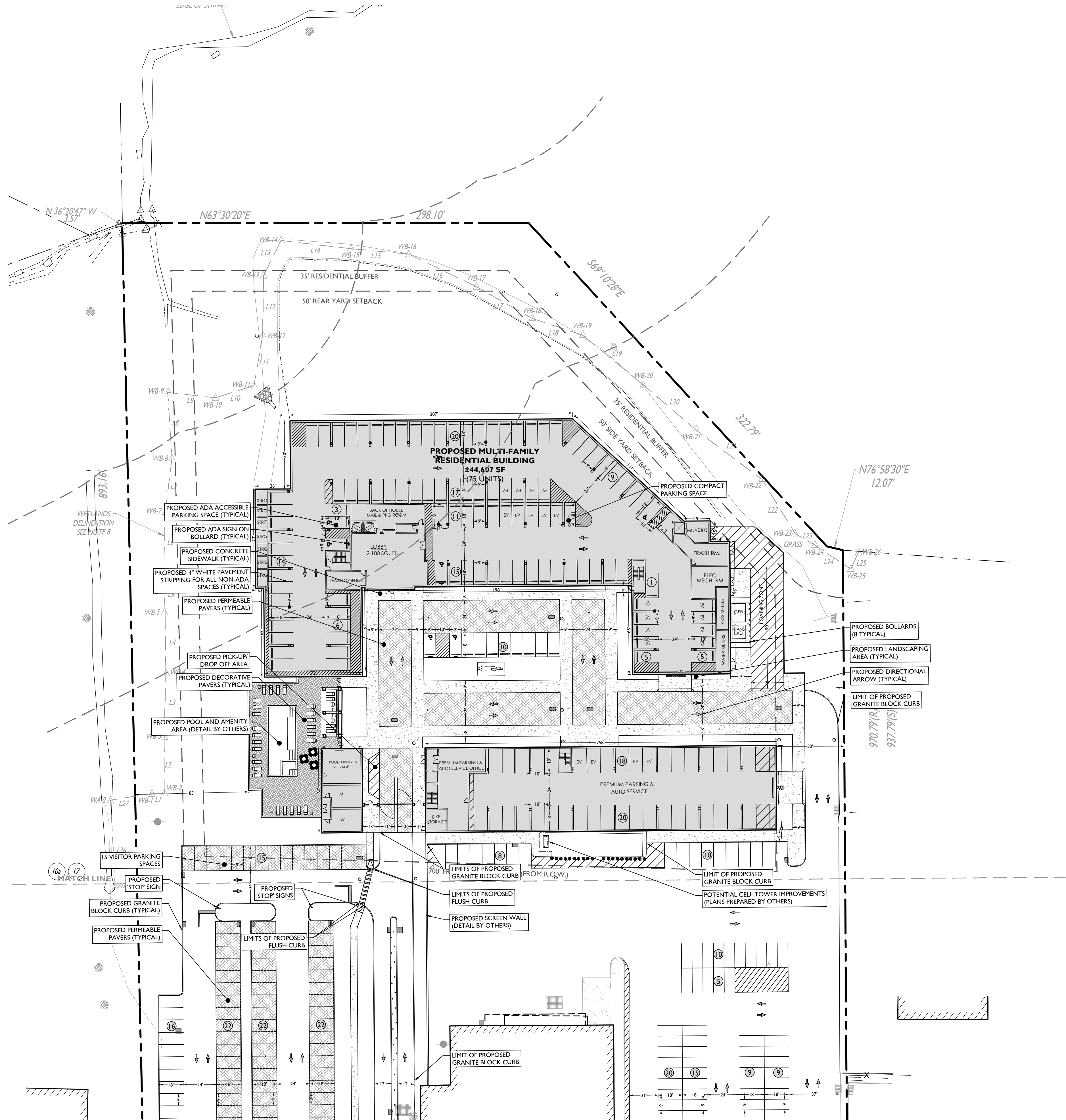
SCALE: 1" = 60' PROJECT ID: RUT-200218

TITLE: **SITE PLAN (OVERALL)**

DRAWING: **C-5**

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SYMBOL	DESCRIPTION
---	PROPERTY LINE
- - - -	SETBACK LINE
- . - . - .	SAWCUT LINE
=====	PROPOSED FLUSH CURB
=====	PROPOSED CURB
○ ○ ○	PROPOSED SIGNS / BOLLARDS
■	PROPOSED BUILDING
□	PROPOSED CONCRETE
▨	PROPOSED DECORATIVE PAVERS
▧	PROPOSED DECORATIVE PAVERS

PK	BY	DATE	ISSUE	DESCRIPTION
1		10/07/2023		FOR MUNICIPAL SUBMISSION

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PRELIMINARY AND FINAL SITE PLAN

**V-FEE MENDHAM APARTMENTS, LLC**

**PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT**

BLOCK 801, LOT 20  
84-90 EAST MAIN STREET  
BOROUGH OF MENDHAM  
MORRIS COUNTY, NEW JERSEY

*Matthew J. Seckler*

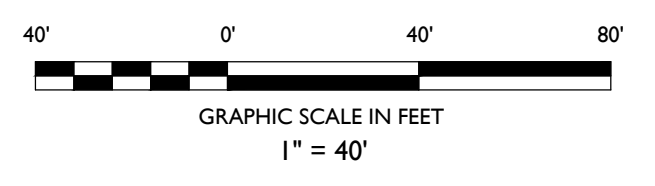
MATTHEW J. SECKLER, P.E.  
NEW JERSEY LICENSE No. 48731  
LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
engineering & design

SCALE: 1" = 40' PROJECT ID: RUT-200218

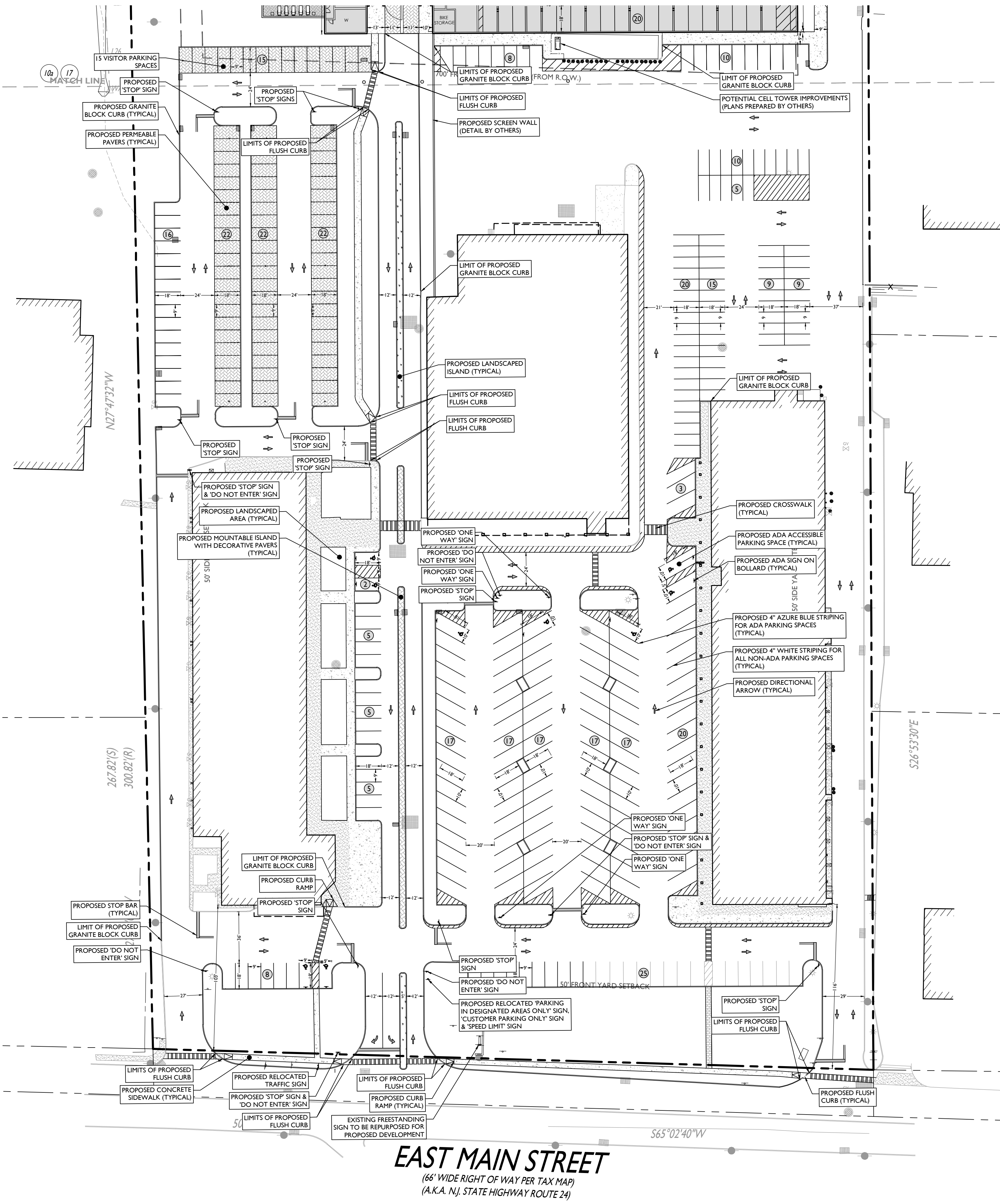
TITLE: **SITE PLAN**

DRAWING: **C-6**



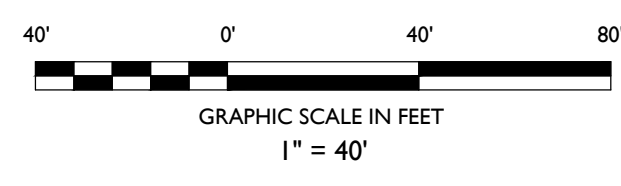
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**EAST MAIN STREET**  
 (66' WIDE RIGHT OF WAY PER TAX MAP)  
 (A.K.A. N.J. STATE HIGHWAY ROUTE 24)

SYMBOL	DESCRIPTION
---	PROPERTY LINE
- - -	SETBACK LINE
- . - . -	SAWCUT LINE
==	PROPOSED FLUSH CURB
---	PROPOSED CURB
○	PROPOSED SIGNS / BOLLARDS
▒	PROPOSED BUILDING
▒	PROPOSED CONCRETE
▒	PROPOSED DECORATIVE PAVERS
▒	PROPOSED DECORATIVE PAVERS



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 84-90 EAST MAIN STREET  
 BOROUGH OF MENDHAM  
 MORRIS COUNTY, NEW JERSEY

*Matthew J. Seckler*

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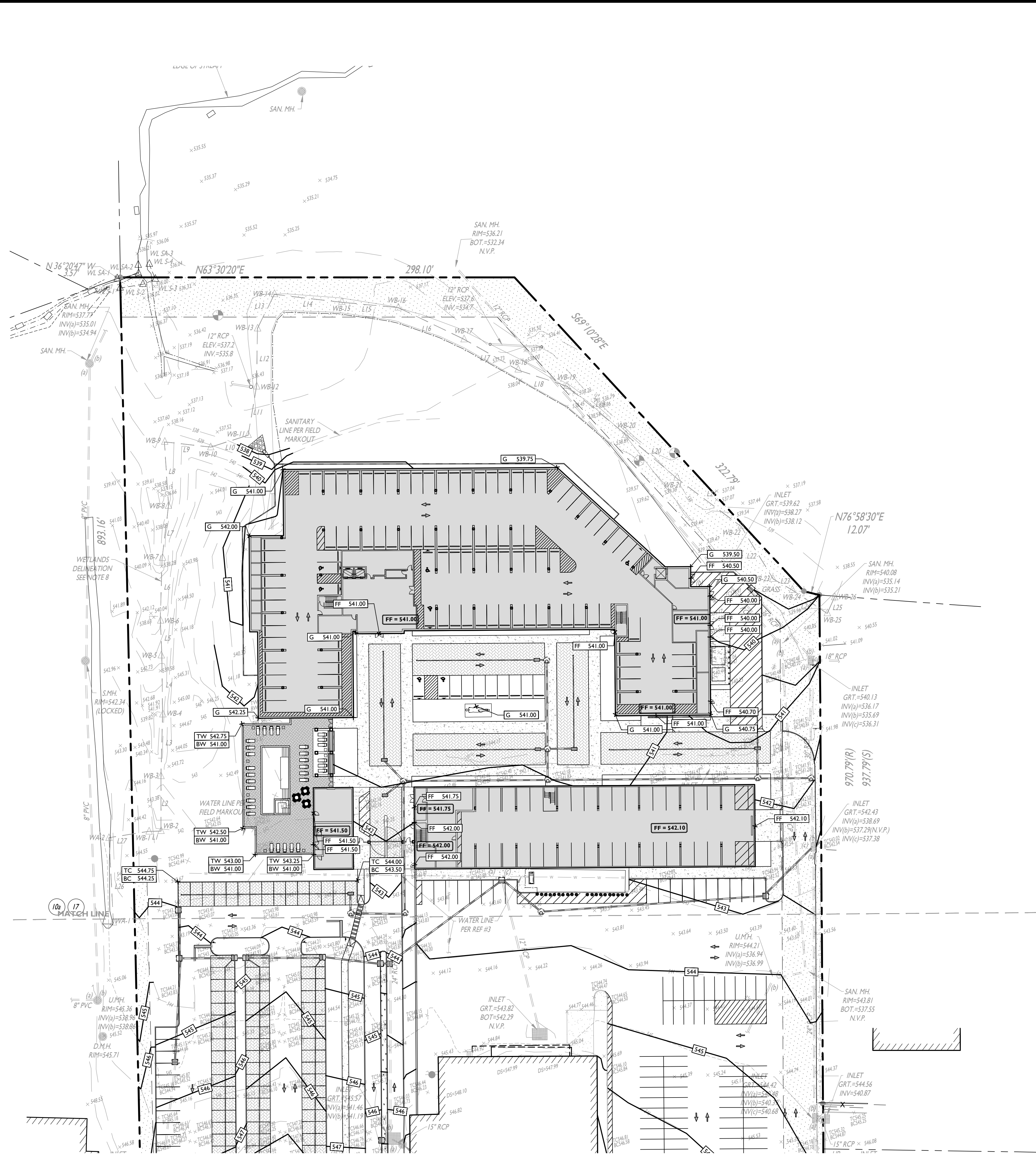
SCALE: 1" = 40' PROJECT ID: RUT-200218

TITLE: **SITE PLAN**

DRAWING: **C-7**

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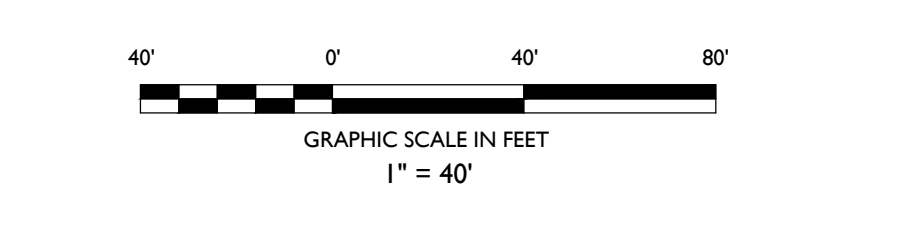




SYMBOL	DESCRIPTION
---	PROPERTY LINE
100	PROPOSED GRADING CONTOUR
—RIDGELINE—	PROPOSED GRADING RIDGE LINE
↔	PROPOSED DIRECTION OF DRAINAGE FLOW
X G 100.00	PROPOSED GRADE SPOT SHOT
X TC 100.50 BC 100.00	PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT

- GRADING NOTES**
- ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
  - THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES, TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
  - PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
  - THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
  - MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
    - CURB GUTTER: 0.50%
    - CONCRETE SURFACES: 1.00%
    - ASPHALT SURFACES: 1.00%
  - A MINIMUM SLOPE OF 1:100 SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IF THIS CONDITION CANNOT BE MET.
  - FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

- ADA NOTES**
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
  - THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
  - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
  - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP. AT ACCESSIBLE BUILDING ENTRANCES AT AN AREA IN FRONT OF A WALK-UP ATM, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL. THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
  - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00%. IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP, FOR ALTERATIONS, A CURB RAMP FLARE SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURB RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
  - ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
  - A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
  - THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4 INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHERE A CHANGE IN LEVEL BETWEEN 1/4 INCHES AND 1/2 INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP 1/4 INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
  - THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/4 INCH.



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**V-FEE MENDHAM APARTMENTS, LLC**

**PRELIMINARY AND FINAL SITE PLAN**

**PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT**

BLOCK 801, LOT 20  
84-90 EAST MAIN STREET  
BOROUGH OF MENDHAM  
MORRIS COUNTY, NEW JERSEY

*Matthew J. Seckler*

**MATTHEW J. SECKLER, P.E.**  
NEW JERSEY LICENSE NO. 4871  
LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
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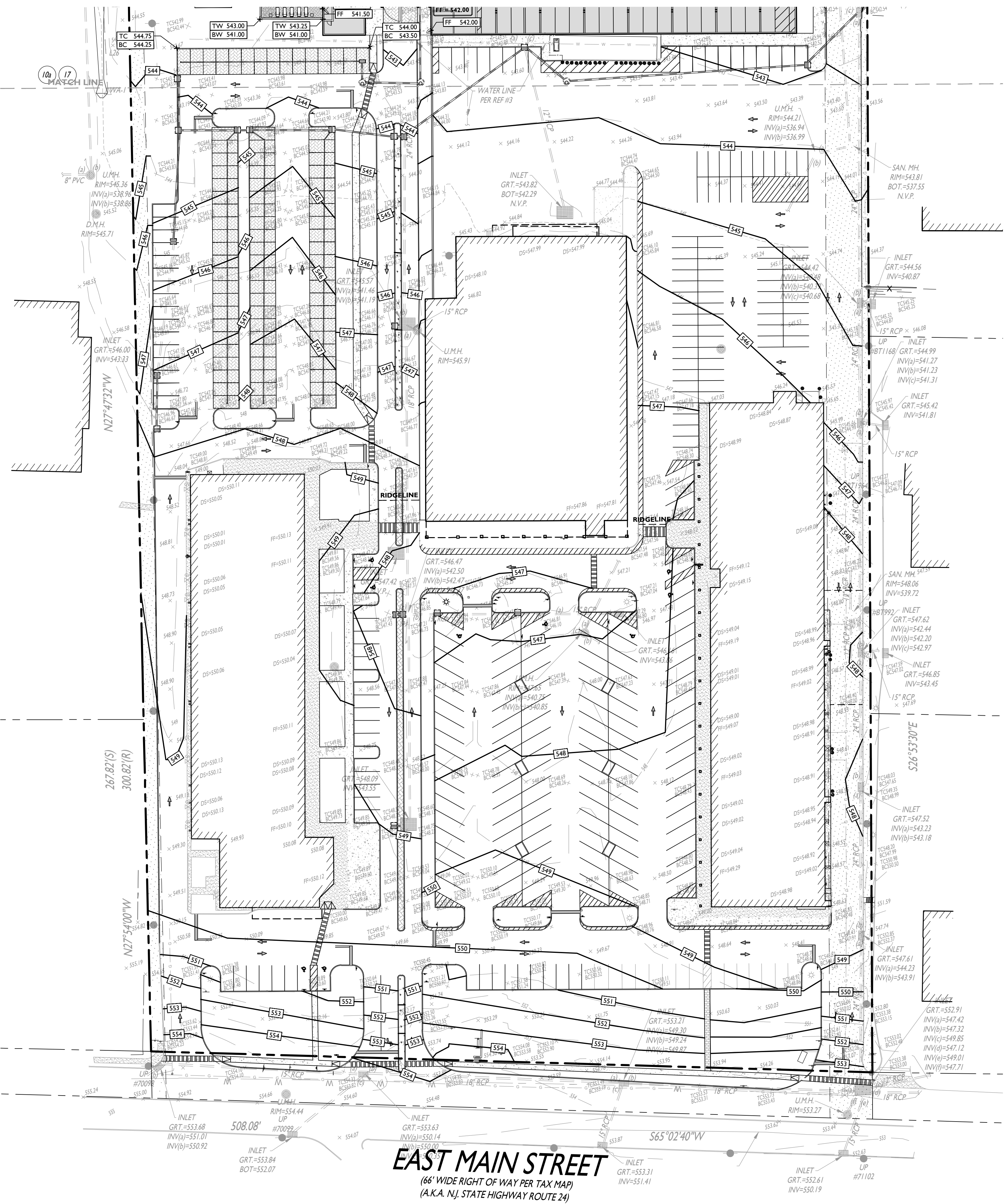
SCALE: 1" = 40' PROJECT ID: RUT-200218

TITLE:  
**GRADING PLAN**

DRAWING:  
**C-8**

2:\PROJECT\320218\2023\11\01\HOI DEVELOPMENT - 440 EAST MAIN STREET - MENDHAM, NJ\CD\320218\MU\84-90.DWG





**EAST MAIN STREET**  
(66' WIDE RIGHT OF WAY PER TAX MAP)  
(A.K.A. N.J. STATE HIGHWAY ROUTE 24)

**SYMBOL DESCRIPTION**

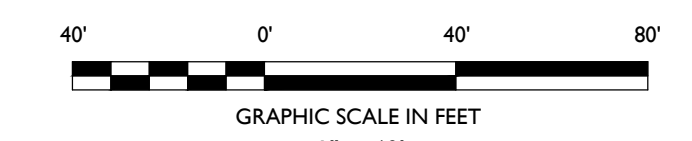
- PROPERTY LINE
- PROPOSED GRADING CONTOUR
- PROPOSED GRADING RIDGELINE
- PROPOSED DIRECTION OF DRAINAGE FLOW
- PROPOSED GRADE SPOT SHOT
- PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT

**GRADING NOTES**

- ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
- THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
- PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
- THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
- MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
  - CURB GUTTER: 0.50%
  - CONCRETE SURFACES: 1.00%
  - ASPHALT SURFACES: 1.00%
- A MINIMUM SLOPE OF 1:00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IF THIS CONDITION CANNOT BE MET. FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

**ADA NOTES**

- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
- THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP. AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALK-UP ATM, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL, THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00% IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP. FOR ALTERATIONS, A CURB RAMP FLARE SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURBS RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
- ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
- A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
- THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4 INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHERE A CHANGE IN LEVEL BETWEEN 1/4 INCHES AND 1/2 INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP 1/4 INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
- THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/4 INCH.



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10/07/2023			FOR MUNICIPAL SUBMISSION

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**V-FEE MENDHAM APARTMENTS, LLC**

**PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT**

BLOCK 801, LOT 20  
84-90 EAST MAIN STREET  
BOROUGH OF MENDHAM  
MORRIS COUNTY, NEW JERSEY

MATTHEW J. SECKLER, P.E.  
NEW JERSEY LICENSE No. 4871  
LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
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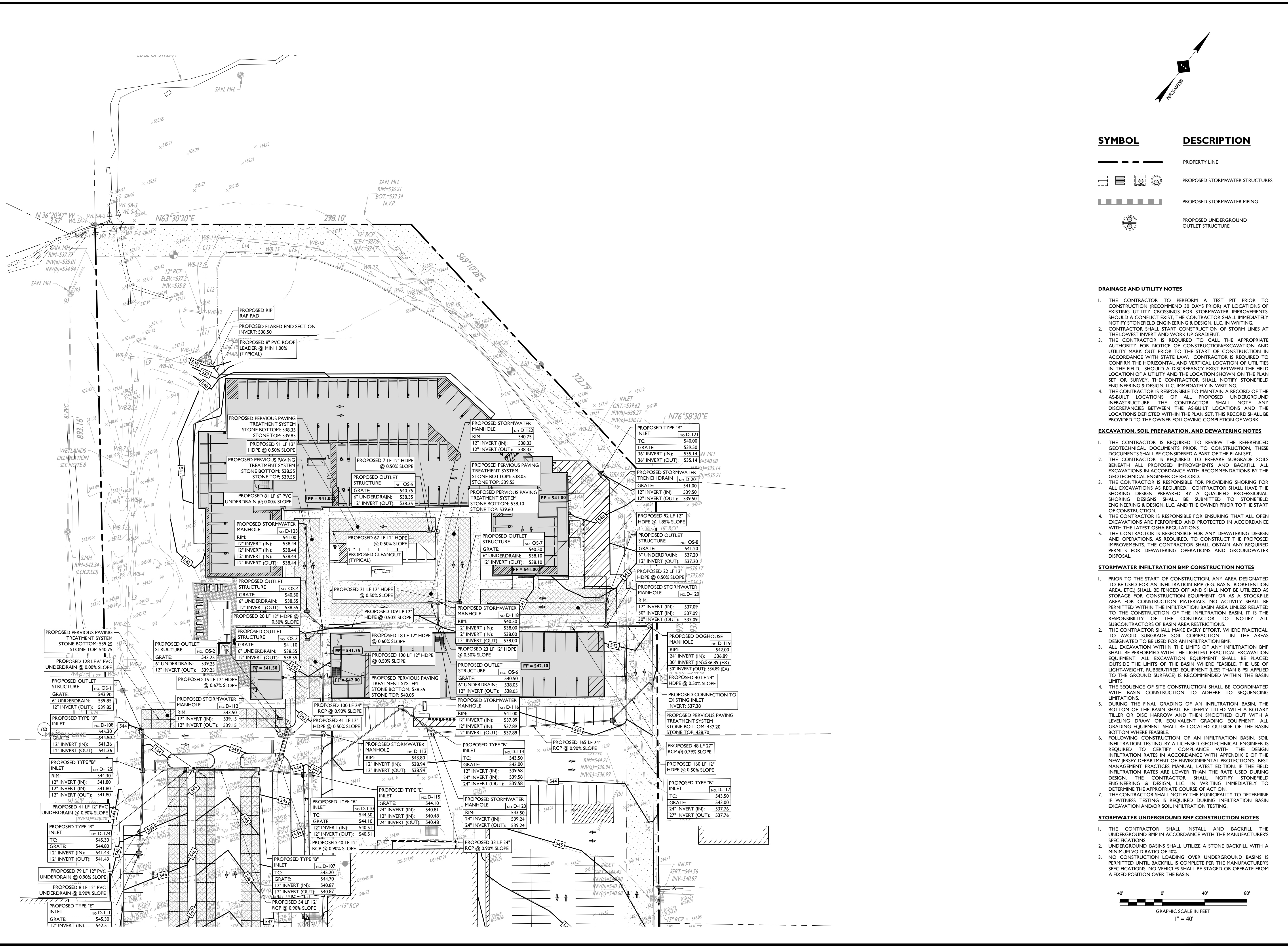
SCALE: 1" = 40' PROJECT ID: RUT-200218

TITLE:  
**GRADING PLAN**

DRAWING:  
**C-9**

Z:\PROJECTS\2023\RUT-200218\1100 DEVELOPMENT - 84-90 EAST MAIN STREET - MENDHAM, NJ\2023\1100\1100-01\1100-01-01\1100-01-01-01\1100-01-01-01-01.DWG





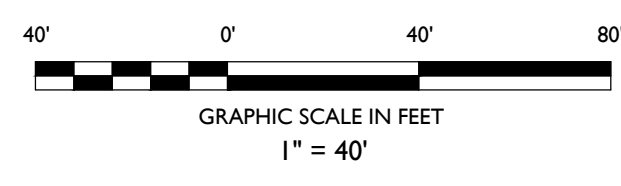
SYMBOL	DESCRIPTION
	PROPERTY LINE
	PROPOSED STORMWATER STRUCTURES
	PROPOSED STORMWATER PIPING
	PROPOSED UNDERGROUND OUTLET STRUCTURE

- DRAINAGE AND UTILITY NOTES**
- THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR STORMWATER IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
  - CONTRACTOR SHALL START CONSTRUCTION OF STORM LINES AT THE LOWEST INVERT AND WORK UP-GRADE.
  - THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
  - THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

- EXCAVATION, SOIL PREPARATION, AND DEWATERING NOTES**
- THE CONTRACTOR IS REQUIRED TO REVIEW THE REFERENCED GEOTECHNICAL DOCUMENTS PRIOR TO CONSTRUCTION. THESE DOCUMENTS SHALL BE CONSIDERED A PART OF THE PLAN SET.
  - THE CONTRACTOR IS REQUIRED TO PREPARE SUBGRADE SOILS BENEATH ALL PROPOSED IMPROVEMENTS AND BACKFILL ALL EXCAVATIONS IN ACCORDANCE WITH RECOMMENDATIONS BY THE GEOTECHNICAL ENGINEER OF RECORD.
  - THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SHORING FOR ALL EXCAVATIONS AS REQUIRED. CONTRACTOR SHALL HAVE THE SHORING DESIGNED BY A QUALIFIED PROFESSIONAL SHORING DESIGNER. THESE DESIGNS SHALL BE SUBMITTED TO STONEFIELD ENGINEERING & DESIGN, LLC, AND THE OWNER PRIOR TO THE START OF CONSTRUCTION.
  - THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL OPEN EXCAVATIONS ARE PERFORMED AND PROTECTED IN ACCORDANCE WITH THE LATEST OSHA REGULATIONS.
  - THE CONTRACTOR IS RESPONSIBLE FOR ANY DEWATERING DESIGN AND OPERATIONS, AS REQUIRED, TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR DEWATERING OPERATIONS AND GROUNDWATER DISPOSAL.

- STORMWATER INFILTRATION BMP CONSTRUCTION NOTES**
- PRIOR TO THE START OF CONSTRUCTION, ANY AREA DESIGNATED TO BE USED FOR AN INFILTRATION BMP (E.G. BASIN, BIOTENTION AREA, ETC.) SHALL BE FENCED OFF AND SHALL NOT BE UTILIZED AS STORAGE FOR CONSTRUCTION EQUIPMENT OR AS A STOCKPILE AREA FOR CONSTRUCTION MATERIALS. NO ACTIVITY SHALL BE PERMITTED WITHIN THE INFILTRATION BASIN AREA UNLESS RELATED TO THE CONSTRUCTION OF THE INFILTRATION BASIN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY ALL SUBCONTRACTORS OF BASIN AREA RESTRICTIONS.
  - THE CONTRACTOR SHALL MAKE EVERY EFFORT, WHERE PRACTICAL, TO AVOID SUBGRADE SOIL COMPACTION IN THE AREAS DESIGNATED TO BE USED FOR AN INFILTRATION BMP.
  - ALL EXCAVATION WITHIN THE LIMITS OF ANY INFILTRATION BMP SHALL BE PERFORMED WITH THE LIGHTEST PRACTICAL EXCAVATION EQUIPMENT. ALL EXCAVATION EQUIPMENT SHALL BE PLACED OUTSIDE THE LIMITS OF THE BASIN WHERE FEASIBLE. THE USE OF LIGHT-WEIGHT, RUBBER-TIRED EQUIPMENT (LESS THAN 8 PSI APPLIED TO THE GROUND SURFACE) IS RECOMMENDED WITHIN THE BASIN LIMITS.
  - THE SEQUENCE OF SITE CONSTRUCTION SHALL BE COORDINATED WITH BASIN CONSTRUCTION TO ADHERE TO SEQUENCING LIMITATIONS.
  - DURING THE FINAL GRADING OF AN INFILTRATION BASIN, THE BOTTOM OF THE BASIN SHALL BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW AND THEN SMOOTHED OUT WITH A LEVELING DRAW OR EQUIVALENT GRADING EQUIPMENT. ALL GRADING EQUIPMENT SHALL BE LOCATED OUTSIDE OF THE BASIN BOTTOM WHERE FEASIBLE.
  - FOLLOWING CONSTRUCTION OF AN INFILTRATION BASIN, SOIL INFILTRATION TESTING BY A LICENSED GEOTECHNICAL ENGINEER IS REQUIRED TO CERTIFY COMPLIANCE WITH THE DESIGN INFILTRATION RATES IN ACCORDANCE WITH APPENDIX E OF THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION'S BEST MANAGEMENT PRACTICES MANUAL, LATEST EDITION. IF THE FIELD INFILTRATION RATES ARE LOWER THAN THE RATE USED DURING DESIGN, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING IMMEDIATELY TO DETERMINE THE APPROPRIATE COURSE OF ACTION.
  - THE CONTRACTOR SHALL NOTIFY THE MUNICIPALITY TO DETERMINE IF WITNESS TESTING IS REQUIRED DURING INFILTRATION BASIN EXCAVATION AND/OR SOIL INFILTRATION TESTING.

- STORMWATER UNDERGROUND BMP CONSTRUCTION NOTES**
- THE CONTRACTOR SHALL INSTALL AND BACKFILL THE UNDERGROUND BMP IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
  - UNDERGROUND BASINS SHALL UTILIZE A STONE BACKFILL WITH A MINIMUM VOID RATIO OF 40%.
  - NO CONSTRUCTION LOADING OVER UNDERGROUND BASINS IS PERMITTED UNTIL BACKFILL IS COMPLETE PER THE MANUFACTURER'S SPECIFICATIONS. NO VEHICLES SHALL BE STAGED OR OPERATE FROM A FIXED POSITION OVER THE BASIN.



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MATTHEW J. SECKLER, P.E.  
NEW JERSEY LICENSE NO. 48721  
LICENSED PROFESSIONAL ENGINEER

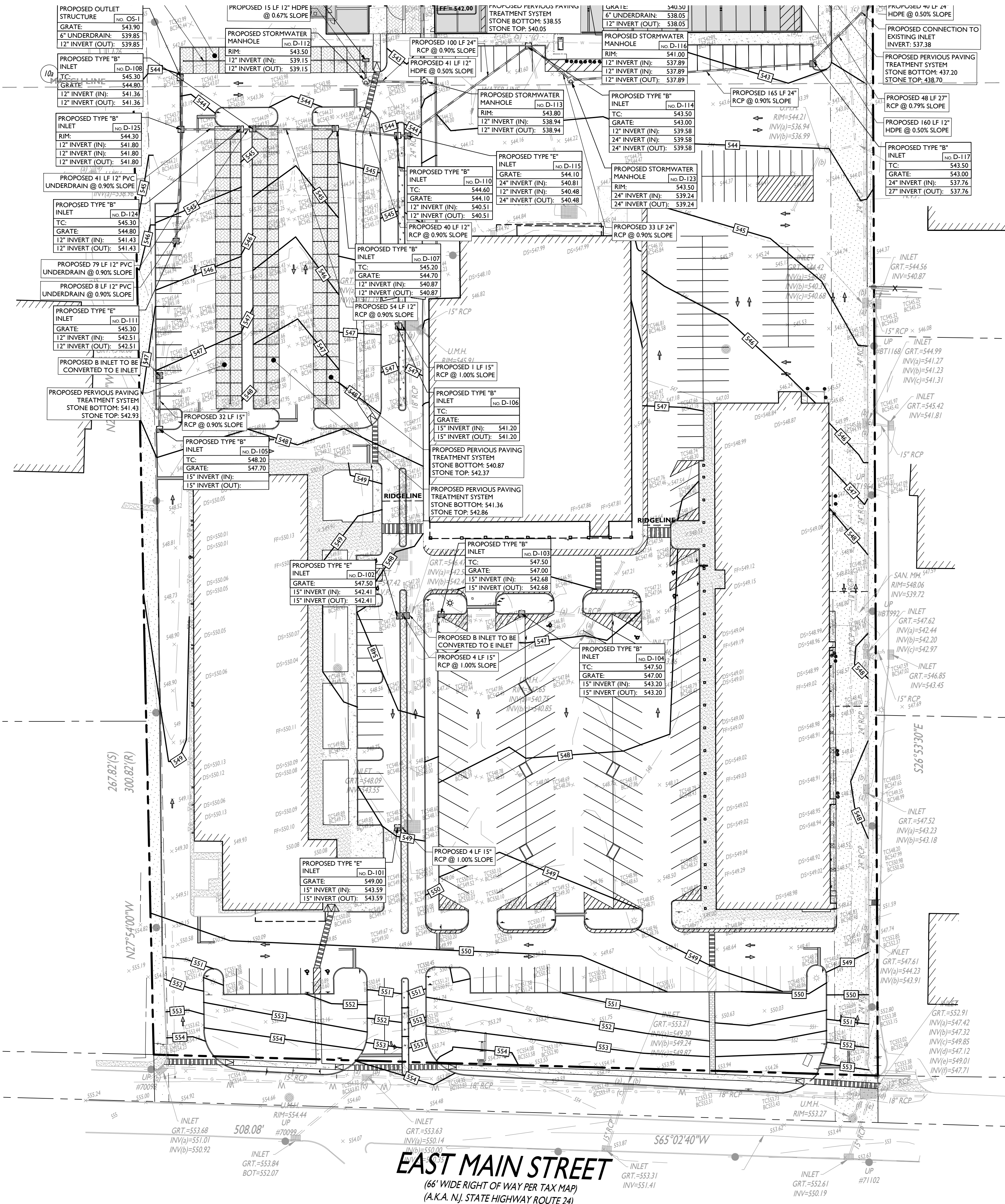
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SCALE: 1" = 40' PROJECT ID: RUT-200218

TITLE:  
**STORMWATER MANAGEMENT PLAN**

DRAWING:  
**C-10**





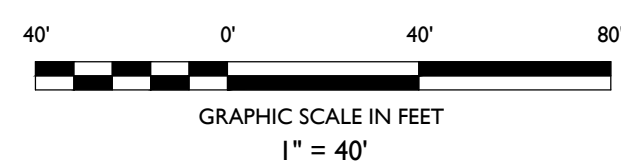
SYMBOL	DESCRIPTION
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  - CONTRACTOR SHALL START CONSTRUCTION OF STORM LINES AT THE LOWEST INVERT AND WORK UP GRADIENT.
  - THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
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  - THE CONTRACTOR IS RESPONSIBLE FOR ANY DEWATERING DESIGN AND OPERATIONS, AS REQUIRED, TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR DEWATERING OPERATIONS AND GROUNDWATER DISPOSAL.

- #### STORMWATER INFILTRATION BMP CONSTRUCTION NOTES
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PRELIMINARY AND FINAL SITE PLAN

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PROPOSED MULTI-FAMILY  
RESIDENTIAL DEVELOPMENT

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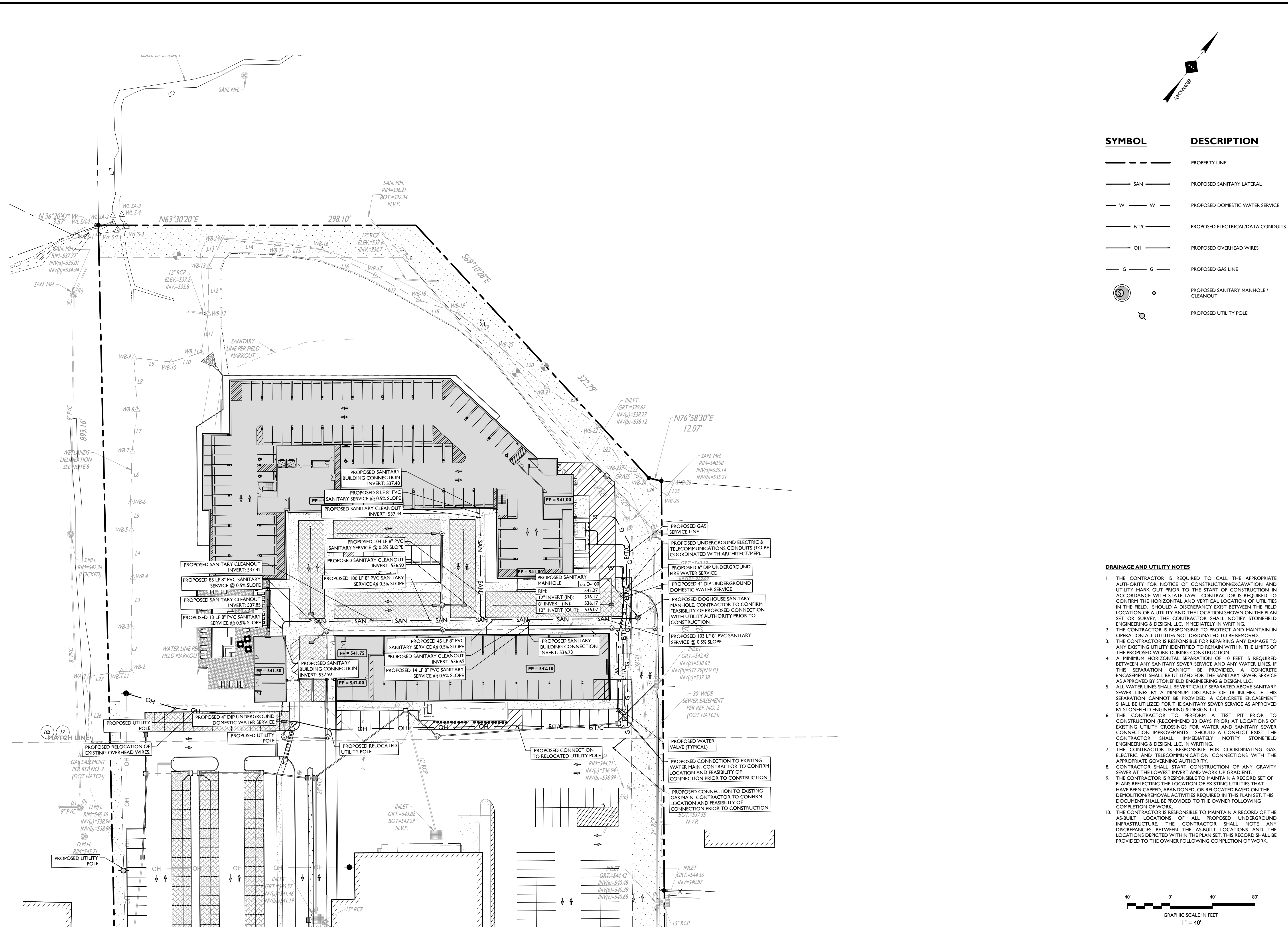
SCALE: 1" = 40' PROJECT ID: RUT-200218

TITLE:  
**STORMWATER  
MANAGEMENT PLAN**

DRAWING:  
**C-11**

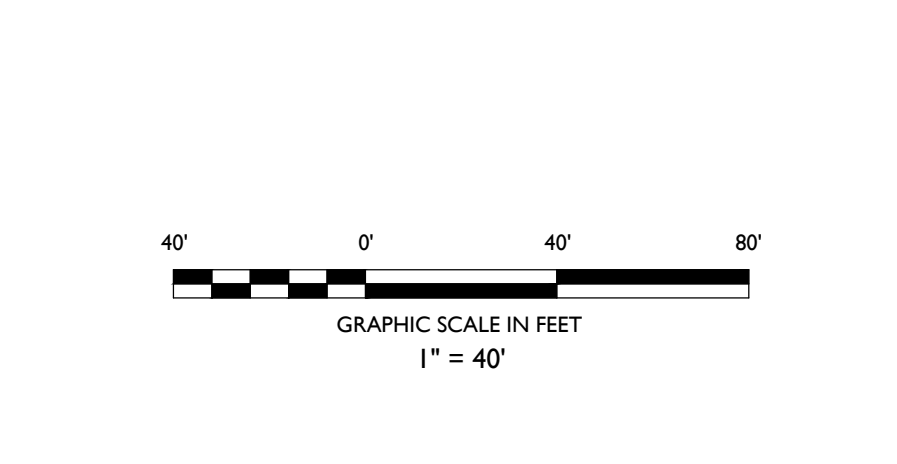


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SYMBOL	DESCRIPTION
---	PROPERTY LINE
— SAN —	PROPOSED SANITARY LATERAL
— W — W —	PROPOSED DOMESTIC WATER SERVICE
— E/T/C —	PROPOSED ELECTRICAL/DATA CONDUITS
— OH —	PROPOSED OVERHEAD WIRES
— G — G —	PROPOSED GAS LINE
⊙	PROPOSED SANITARY MANHOLE / CLEANOUT
⊙	PROPOSED UTILITY POLE

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- THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
  - THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
  - THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
  - A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASEMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
  - ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASEMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
  - THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
  - THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
  - CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP-GRADEMENT.
  - THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
  - THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DESCRIBED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.



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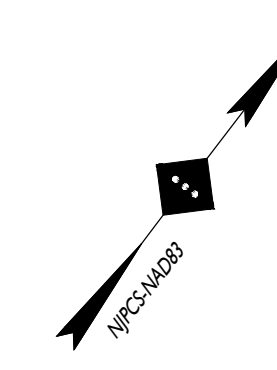
SCALE: 1" = 40' PROJECT ID: RUT-202118

TITLE:  
**UTILITY PLAN**

DRAWING:  
**C-12**



PROPOSED LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QUANTITY	LIGHTING FIXTURE	DISTRIBUTION	LLF	MANUFACTURER	IES FILE
	A	5	GLASWERKS LUMINESCENT LED BERN	TYPE III	0.90	HOLOPHANE	GBLF3_P80_30K_XXXXX_SYM.IES
	B	32	B-K MAMMOTH UP/DOWN LED	TYPE I	0.90	B-K LIGHTING	MA-LED-x51-WF-L-ITL88310-GO-NIOPHOTOME-TRY.IES
	C	28	CPY SERIES VERSION B LED CANOPY FIXTURE - INPUT C (31 W)	-	0.90	CREE LIGHTING	cPY250-B-XX-F-C-UL-XX-40K-CONF-IGURED.IES
	D	21	UTLD TRADITIONAIRE LED DOWNLIGHT AREA LIGHT	TYPE V	0.90	HUBBELL	UTLD-E02-LED-E-U-5MQ.IES

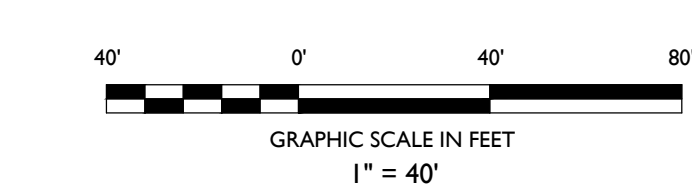
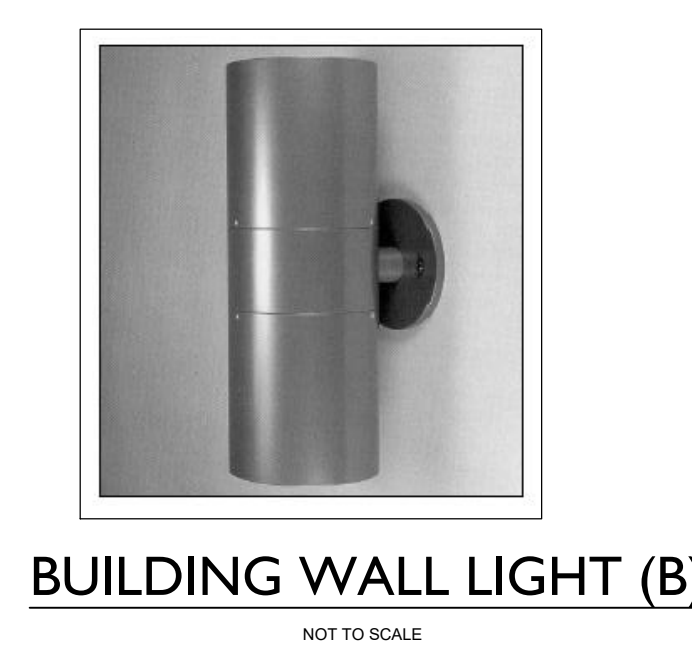
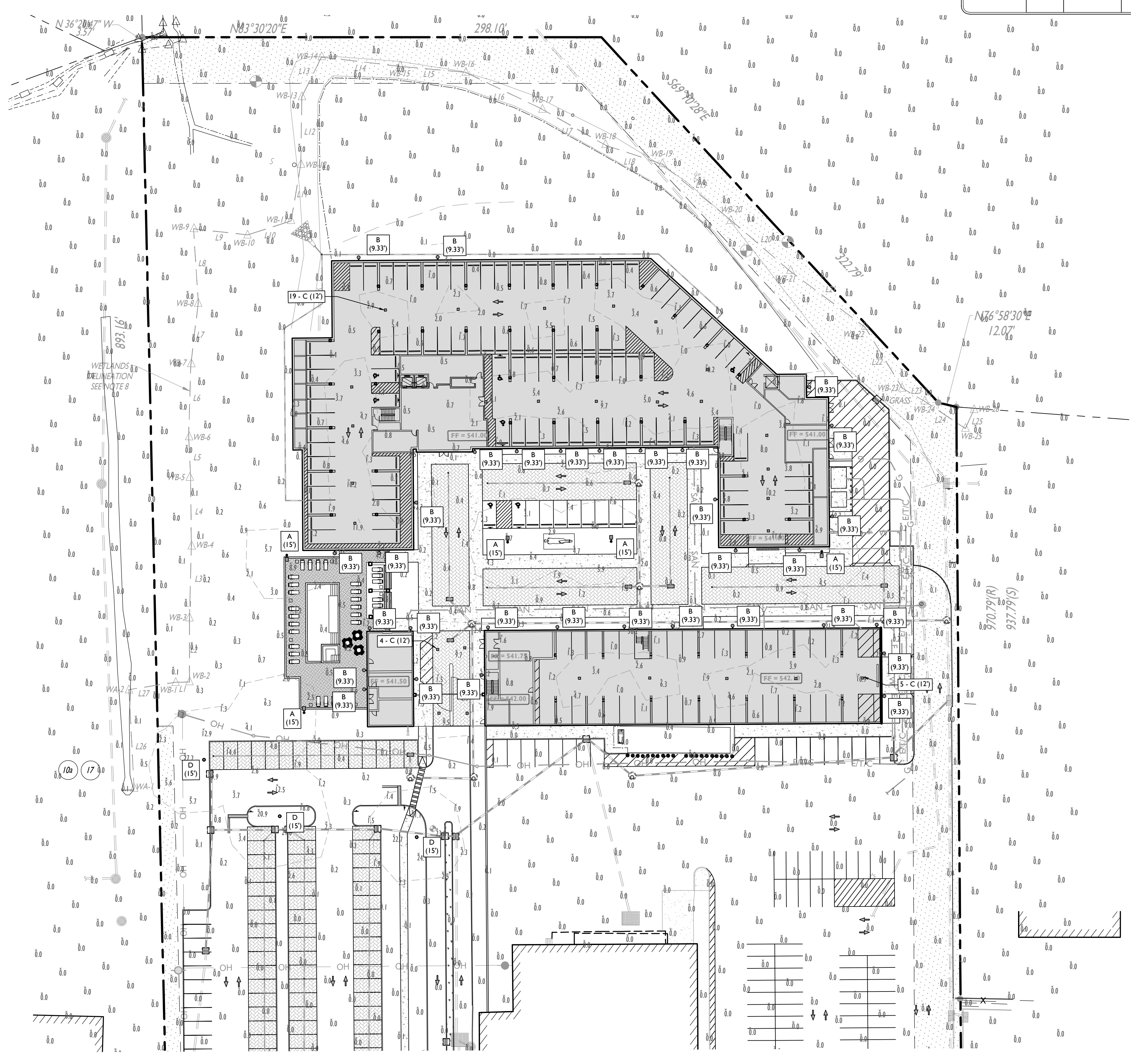


SYMBOL	DESCRIPTION
---	PROPOSED CALCULATION AREA
---	PROPOSED ISOMETRIC LINE
A (XX')	PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)
+xx	PROPOSED LIGHTING INTENSITY (FOOTCANDELS)
	PROPOSED AREA LIGHT
	PROPOSED BUILDING MOUNTED LIGHT
	PROPOSED BUILDING MOUNTED LIGHT

LIGHTING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 195-47. A. (1)	THE STYLE OF THE LIGHT AND LIGHT STANCHION SHALL BE CONSISTENT WITH THE ARCHITECTURAL STYLE OF THE PRINCIPAL BUILDING.	COMPLIES
§ 195-47. A. (2)	MAXIMUM HEIGHT OF FREESTANDING LIGHTS SHALL NOT EXCEED THE HEIGHT OF THE PRINCIPAL BUILDING OR 25 FT, WHICHEVER IS LESS.	COMPLIES
§ 195-47. A. (3)	LIGHTS ALONG PROPERTY LINES SHALL BE APPROPRIATELY SHIELDED.	COMPLIES
§ 195-47. A. (4)	SPOTLIGHT-TYPE FIXTURES ATTACHED TO BUILDINGS SHALL BE AVOIDED EXCEPT WHERE PROPERLY SCREENED FROM ADJACENT PROPERTIES.	COMPLIES
§ 195-47. A. (5)	FREESTANDING LIGHTS SHALL BE SO LOCATED AND PROTECTED TO AVOID BEING DAMAGED BY VEHICLES.	COMPLIES
§ 195-47. A. (6)	LIGHTING SHALL NOT BE PERMITTED WHICH REQUIRES FLASHING OR INTERMITTENT ILLUMINATION, LIGHTING WHICH REQUIRES CHANGE IN COLOR, INTENSITY OR HUE SHALL LIKEWISE BE PROHIBITED. ALL SIGN LIGHTING SHALL BE BY WHITE LIGHT ONLY.	COMPLIES

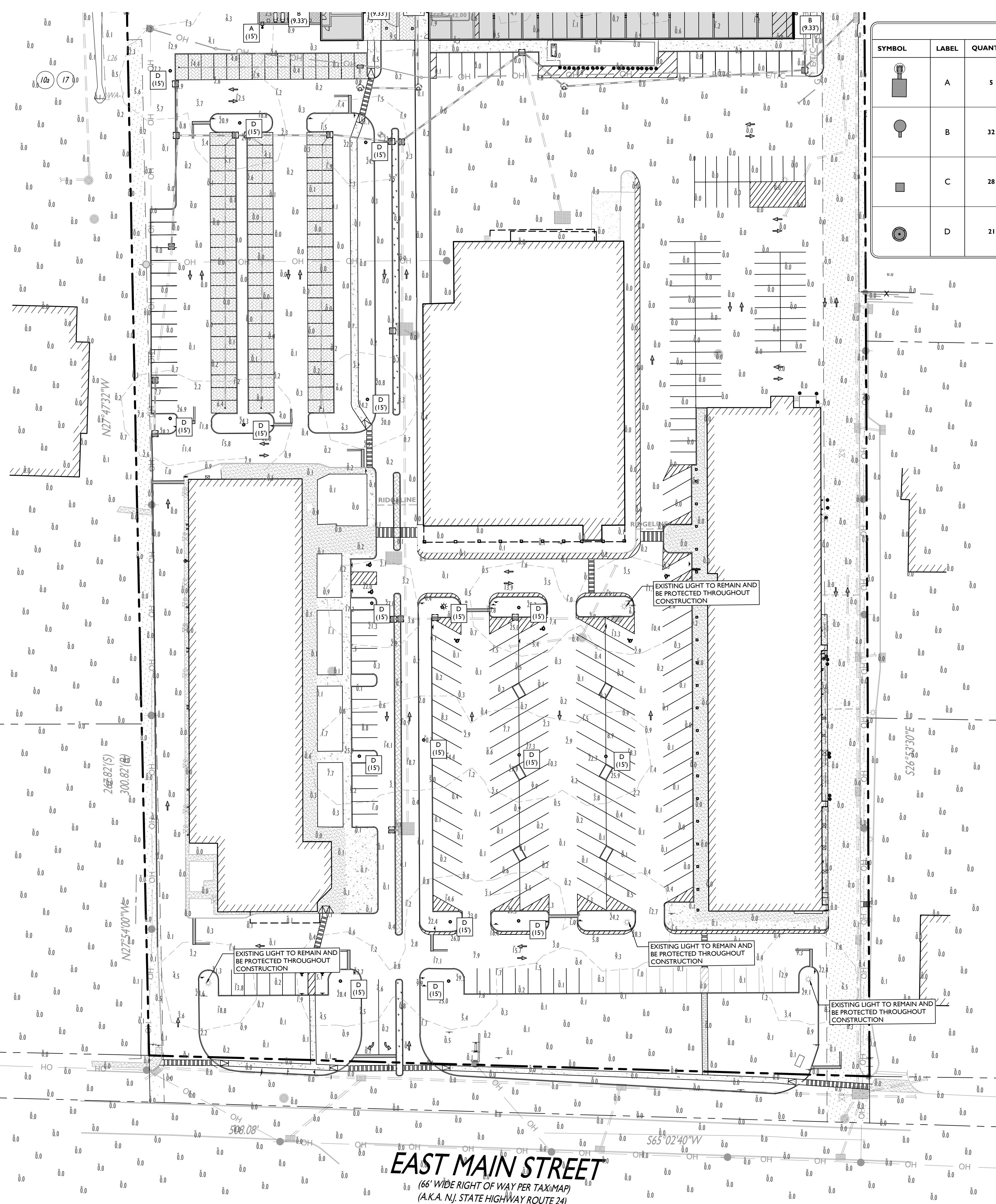
**GENERAL LIGHTING NOTES**

- THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
- WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
- UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
  - LIGHT EMITTING DIODES (LED): 0.90
  - HIGH PRESSURE SODIUM: 0.72
  - METAL HALIDE: 0.72
- THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING/ PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS. THE CONTRACTOR IS RESPONSIBLE TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.



FOR MUNICIPAL SUBMISSION	
PK	BY
10/07/2023	
ISSUE	DATE
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<b>NOT APPROVED FOR CONSTRUCTION</b>	
<b>STONEFIELD</b> engineering & design	
Rutherford, NJ · New York, NY · Boston, MA Princeton, NJ · Tampa, FL · Detroit, MI www.stonefielddesign.com	
Headquarters: 92 Park Avenue, Rutherford, NJ 07070 Phone 201.340.4468 · Fax 201.340.4472	
<b>PRELIMINARY AND FINAL SITE PLAN</b>	
<b>V-FEE MENDHAM APARTMENTS, LLC</b>	
<b>PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT</b>	
BLOCK 801, LOT 20 84-90 EAST MAIN STREET BOROUGH OF MENDHAM MORRIS COUNTY, NEW JERSEY	
 MATTHEW J. SECKLER, P.E. NEW JERSEY LICENSE No. 48731 LICENSED PROFESSIONAL ENGINEER	
<b>STONEFIELD</b> engineering & design	
SCALE: 1" = 40'	PROJECT ID: RUT-200218
<b>TITLE:</b>	
<b>LIGHTING PLAN</b>	
<b>DRAWING:</b>	
<b>C-13</b>	





PROPOSED LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QUANTITY	LIGHTING FIXTURE	DISTRIBUTION	LLF	MANUFACTURER	IES FILE
	A	5	GLASWERKS LUMINESCENT LED BERN	TYPE III	0.90	HOLOPHANE	GBLF3_P80_30K_XXXXX_SYM.IES
	B	32	B-K MAMMOTH UP/DOWN LED	TYPE I	0.90	B-K LIGHTING	MA-LED-XS1-WF-L-ITL88310-GO-NIOPHOTOME-TRY.IES
	C	28	CPY SERIES VERSION B LED CANOPY FIXTURE - INPUT C (31 W)	-	0.90	CREE LIGHTING	cPY250-B-XX-F-C-UL-XX-40K-CONFIGURED.IES
	D	21	UTLD TRADITIONAIRE LED DOWNLIGHT AREA LIGHT	TYPE V	0.90	HUBBELL	UTLD-E02-LED-E-U-SMQIES

LIGHTING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 195-47. A. (1)	THE STYLE OF THE LIGHT AND LIGHT STANCHION SHALL BE CONSISTENT WITH THE ARCHITECTURAL STYLE OF THE PRINCIPAL BUILDING.	COMPLIES
§ 195-47. A. (2)	MAXIMUM HEIGHT OF FREESTANDING LIGHTS SHALL NOT EXCEED THE HEIGHT OF THE PRINCIPAL BUILDING OR 25 FT, WHICHEVER IS LESS.	COMPLIES
§ 195-47. A. (3)	LIGHTS ALONG PROPERTY LINES SHALL BE APPROPRIATELY SHIELDED.	COMPLIES
§ 195-47. A. (4)	SPOTLIGHT-TYPE FIXTURES ATTACHED TO BUILDINGS SHALL BE AVOIDED EXCEPT WHERE PROPERLY SCREENED FROM ADJACENT PROPERTIES.	COMPLIES
§ 195-47. A. (5)	FREESTANDING LIGHTS SHALL BE SO LOCATED AND PROTECTED TO AVOID BEING DAMAGED BY VEHICLES.	COMPLIES
§ 195-47. A. (6)	LIGHTING SHALL NOT BE PERMITTED WHICH REQUIRES FLASHING OR INTERMITTENT ILLUMINATION. LIGHTING WHICH REQUIRES CHANGE IN COLOR, INTENSITY OR HUE SHALL LIKEWISE BE PROHIBITED. ALL SIGN LIGHTING SHALL BE BY WHITE LIGHT ONLY.	COMPLIES

SYMBOL	DESCRIPTION
- - - - -	PROPOSED CALCULATION AREA
- - - - -	PROPOSED ISOMETRIC LINE
A (XX')	PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)
+xx	PROPOSED LIGHTING INTENSITY (FOOTCANDLES)
	PROPOSED AREA LIGHT
	PROPOSED BUILDING MOUNTED LIGHT
	PROPOSED BUILDING MOUNTED LIGHT

**GENERAL LIGHTING NOTES**

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  - LIGHT EMITTING DIODES (LED): 0.90
  - HIGH PRESSURE SODIUM: 0.72
  - METAL HALIDE: 0.72
- THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING/ PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS.
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AREA LIGHT (A)  
NOT TO SCALE



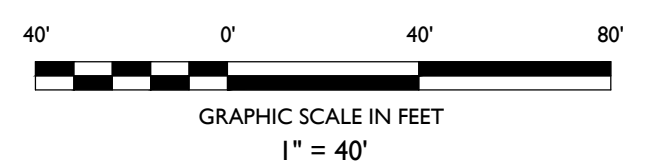
BUILDING WALL LIGHT (B)  
NOT TO SCALE



CEILING LIGHT (C)  
NOT TO SCALE



AREA LIGHT (D)  
NOT TO SCALE



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**V-FEE MENDHAM APARTMENTS, LLC**

**PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT**

BLOCK 801, LOT 20  
84-90 EAST MAIN STREET  
BOROUGH OF MENDHAM  
MORRIS COUNTY, NEW JERSEY

MATTHEW J. SECKLER, P.E.  
NEW JERSEY LICENSE No. 48771  
LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
engineering & design

SCALE: 1" = 40' PROJECT ID: RUT-200218

TITLE: **LIGHTING PLAN**

DRAWING: **C-14**



**SEQUENCE OF CONSTRUCTION**

- OBTAIN PLAN APPROVAL AND ALL APPLICABLE PERMITS.
  - HOLD PRE-CONSTRUCTION MEETING AT LEAST ONE WEEK PRIOR TO STARTING CONSTRUCTION.
  - CONTRACTOR SHALL NOTIFY MORRIS CONSERVATION DISTRICT AT LEAST 48 HOURS IN ADVANCE OF ANY SOIL DISTURBANCE ACTIVITY.
  - INSTALL SILT FENCE AND CONSTRUCTION ENTRANCE. (3 DAYS)
  - ROUGH GRADING AND EXCAVATION. (4 WEEKS)
  - BUILDING CONSTRUCTION AND SITE IMPROVEMENTS. (6 MONTHS)
  - STREETSCAPE IMPROVEMENTS. (4 WEEKS)
  - REMOVE SILT FENCE AND SOIL EROSION MEASURES (1 DAY)
- TOTAL ESTIMATED TIME = 8 MONTHS
- NOTE: TIME DURATIONS ARE APPROXIMATE AND ARE INTENDED TO ACT AS A GENERAL GUIDE TO THE CONSTRUCTION TIMELINE. ALL DURATIONS ARE SUBJECT TO CHANGE BY CONTRACTOR. CONTRACTOR SHALL SUBMIT CONSTRUCTION SCHEDULE TO TOWNSHIP AND ENGINEER. CONTRACTOR SHALL PHASE CONSTRUCTION ACCORDINGLY.

**STABILIZATION SPECIFICATIONS:**

- TEMPORARY SEEDING AND MULCHING.
  - GROUND LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS.
  - FERTILIZER - APPLY 11 LBS/1,000 SF OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4".
  - SEED - PERENNIAL RYEGRASS 100 LBS./ACRE (2.3 LBS./1,000 SF) OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.
  - MULCH - UNROTTED STRAW OR HAY AT A RATE OF 70 TO 90 LBS./1,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
- PERMANENT SEEDING AND MULCHING.
  - TOPSOIL - UNIFORM APPLICATION TO A DEPTH OF 5" (UNSETTLED).
  - GROUND LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS.
  - FERTILIZER - APPLY 11 LBS/1,000 SF OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4".
  - SEED - TURF TYPE TALL FESCUE (BLEND OF 3 CULTIVARS) 350 LBS./ACRE (8 LBS./1,000 SF) OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND OCTOBER 1. (SUMMER SEEDINGS REQUIRE IRRIGATION)
  - MULCH - UNROTTED STRAW OR HAY AT A RATE OF 70 TO 90 LBS./1,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).

**DUST CONTROL NOTES**

- MULCHES - SEE STANDARD OF STABILIZATION WITH MULCHES ONLY. PG. 5.1
- VEGETATIVE COVER - SEE STANDARD FOR: TEMPORARY VEGETATIVE COVER, PG. 7.1; PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION PG. 4.1 AND PERMANENT STABILIZATION WITH SOD, PG. 4.1
- SPRAY-ON ADHESIVES - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS); KEEP TRAFFIC OFF THESE AREAS.
- TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
- SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.
- BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.
- CALCIUM CHLORIDE - SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.
- STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.



**SOIL DE-COMPACTION AND TESTING REQUIREMENTS**

- SOIL COMPACTION TESTING REQUIREMENTS**
- SUBGRADE SOILS PRIOR TO THE APPLICATION OF TOPSOIL (SEE PERMANENT SEEDING AND STABILIZATION NOTES FOR TOPSOIL REQUIREMENTS) SHALL BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
  - AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY DENOTED ON THE CERTIFIED SOIL EROSION CONTROL PLAN.
  - COMPACTION TESTING LOCATIONS ARE DENOTED ON THE PLAN. A COPY OF THE PLAN OR PORTION OF THE PLAN SHALL BE USED TO MARK LOCATIONS OF TESTS, AND ATTACHED TO THE COMPACTION MITIGATION VERIFICATION FORM, AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.
  - IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE SIMPLIFIED TESTING METHODS (SEE DETAILS BELOW), THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO PERFORM EITHER (1) COMPACTION MITIGATION OVER THE ENTIRE MITIGATION AREA DENOTED ON THE PLAN (EXCLUDING EXEMPT AREAS), OR (2) PERFORM ADDITIONAL, MORE DETAILED TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS SHOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DETAILED TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL.
- COMPACTION TESTING METHODS**
- PROBING WIRE TEST (SEE DETAIL)
  - HAND-HELD PENETROMETER TEST (SEE DETAIL)
  - TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
  - NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
- NOTE: ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS, AND WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL.
- SOIL COMPACTION TESTING IS NOT REQUIRED IF WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE 6" MINIMUM DEPTH) OR SIMILAR) IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION.

**PROCEDURES FOR SOIL COMPACTION MITIGATION**

- PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
- RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.). IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAY BE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL.

**STANDARD FOR TOPSOIL**

- METHODS AND MATERIALS**
- MATERIALS**
    - A. TOPSOIL SHOULD BE FRIABLE, LOAMY, FREE OF DEBRIS, OBJECTIONABLE WEEDS AND STONES, AND CONTAIN NO TOXIC SUBSTANCE OR ADVERSE CHEMICAL OR PHYSICAL CONDITION THAT MAY BE HARMFUL TO PLANT GROWTH. SOIL SALTS SHOULD NOT BE EXCESSIVE (CONDUCTIVITY LESS THAN 0.5 MILLIMHOS PER CENTIMETER, MORE THAN 0.5 MILLIMHOS MAY DECCATE SEEDLINGS AND ADVERSELY IMPACT GROWTH). IMPORTED TOPSOIL SHALL HAVE A MINIMUM ORGANIC MATTER CONTENT OF 2.75 PERCENT. ORGANIC MATTER CONTENT MAY BE RAISED BY ADDITIVES.
    - B. TOPSOIL SUBSTITUTE IS A SOIL MATERIAL WHICH MAY HAVE BEEN AMENDED WITH SAND, SILT, CLAY, ORGANIC MATTER, FERTILIZER OR LIME AND HAS THE APPEARANCE OF TOPSOIL. TOPSOIL SUBSTITUTES MAY BE UTILIZED ON SITES WITH INSUFFICIENT TOPSOIL FOR ESTABLISHING PERMANENT VEGETATION. ALL TOPSOIL SUBSTITUTE MATERIALS SHALL MEET THE REQUIREMENTS OF TOPSOIL NOTED ABOVE. SOIL TESTS SHALL BE PERFORMED TO DETERMINE THE COMPONENTS OF SAND, SILT, CLAY, ORGANIC MATTER, SOLUBLE SALTS AND PH LEVEL.
  - STRIPPING AND STOCKPILING**
    - A. FIELD EXPLORATION SHOULD BE MADE TO DETERMINE WHETHER QUANTITY AND OR QUALITY OF SURFACE SOIL JUSTIFIES STRIPPING.
    - B. STRIPPING SHALL BE CONFINED TO THE IMMEDIATE CONSTRUCTION AREA.
    - C. WHERE FEASIBLE, LIME MAY BE APPLIED BEFORE STRIPPING AT A RATE DETERMINED BY SOIL TESTS TO BRING THE SOIL PH TO APPROXIMATELY 6.5.
    - D. A 4-6 INCH STRIPPING DEPTH IS COMMON, BUT MAY VARY DEPENDING ON THE PARTICULAR SOIL.
    - E. STOCKPILES SHOULD BE SITUATED SO AS NOT TO OBSTRUCT NATURAL DRAINAGE OR CAUSE OFF-SITE ENVIRONMENTAL DAMAGE.
    - F. STOCKPILES SHOULD BE VEGETATED IN ACCORDANCE WITH STANDARDS PREVIOUSLY DESCRIBED HEREIN; SEE STANDARDS FOR PERMANENT (PG. 4-1) OR TEMPORARY (PG.7-1) VEGETATIVE COVER FOR SOIL STABILIZATION. WEEDS SHOULD NOT BE ALLOWED TO GROW ON STOCKPILES.
  - SITE PREPARATION**
    - A. GRADE AT THE ONSET OF THE OPTIMAL SEEDING PERIOD SO AS TO MINIMIZE THE DURATION AND AREA OF EXPOSURE OF DISTURBED SOIL TO EROSION. IMMEDIATELY PROCEED TO ESTABLISH VEGETATIVE COVER IN ACCORDANCE WITH THE SPECIFIED SEED MIXTURE. TIME IS OF THE ESSENCE.
    - B. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION AND ANCHORING, AND MAINTENANCE. SEE THE STANDARD FOR LAND GRADING.
    - C. GUIDANCE FOR IDEAL CONDITIONS, SUBSOIL SHOULD BE TESTED FOR LIME REQUIREMENT. LIMESTONE, IF NEEDED, SHOULD BE APPLIED TO BRING SOIL TO A PH OF APPROXIMATELY 6.5 AND INCORPORATED INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES.
    - D. PRIOR TO TOPSOILING, THE SUBSOIL SHALL BE IN COMPLIANCE WITH THE STANDARD FOR LAND GRADING.
    - E. EMPLOY NEEDED EROSION CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENTATION BASINS, AND WATERWAYS.
  - APPLYING TOPSOIL**
    - A. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING SOIL STRUCTURE, I.E. LESS THAN FIELD CAPACITY.
    - B. A UNIFORM APPLICATION TO AN AVERAGE DEPTH OF 5.0 INCHES, MINIMUM OF 4 INCHES, FIRMED IN PLACE IS REQUIRED.
    - C. PURSUANT TO THE REQUIREMENTS IN SECTION 7 OF THE STANDARD FOR PERMANENT VEGETATIVE STABILIZATION, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT PERMANENT VEGETATIVE COVER BECOMES ESTABLISHED ON AT LEAST 80% OF THE SOILS TO BE STABILIZED WITH VEGETATION. FAILURE TO ACHIEVE THE MINIMUM COVERAGE MAY REQUIRE ADDITIONAL WORK TO BE PERFORMED BY THE CONTRACTOR TO INCLUDE SOME OR ALL OF THE FOLLOWING: SUPPLEMENTAL SEEDING, RE-APPLICATION OF LIME AND FERTILIZERS, AND/OR THE ADDITION OF ORGANIC MATTER (I.E. COMPOST) AS A TOP DRESSING. SUCH ADDITIONAL MEASURES SHALL BE BASED ON SOIL TESTS SUCH AS THOSE REFERRED BY RUTGERS COOPERATIVE EXTENSION SERVICE OR OTHER APPROVED LABORATORY FACILITIES QUALIFIED TO TEST SOIL SAMPLES FOR AGRONOMIC PROPERTIES.

SOIL CHARACTERISTICS CHART	
TYPE OF SOIL	CALIFON VARIANT LOAM (CcpB)
PERCENT OF SITE COVERAGE	4.5%
HYDROLOGIC SOIL GROUP	C
DEPTH TO RESTRICTIVE LAYER	> 80 INCHES
SOIL PERMEABILITY	0.60 TO 2.00 IN / HR
DEPTH TO WATER TABLE	6 TO 30 INCHES
TYPE OF SOIL	COKESBURY LOAM (CoabC)
PERCENT OF SITE COVERAGE	95.5%
HYDROLOGIC SOIL GROUP	D
DEPTH TO RESTRICTIVE LAYER	20 TO 30 INCHES TO FRAGIPAN
SOIL PERMEABILITY	0.06 TO 0.20 IN / HR
DEPTH TO WATER TABLE	0 TO 12 INCHES
TYPE OF SOIL	GLADSTONE (GlaabB)
PERCENT OF SITE COVERAGE	0.1%
HYDROLOGIC SOIL GROUP	B
DEPTH TO RESTRICTIVE LAYER	60 TO 80 INCHES TO LITHIC BEDROCK
SOIL PERMEABILITY	0.00 TO 0.06 IN / HR
DEPTH TO WATER TABLE	> 80 INCHES

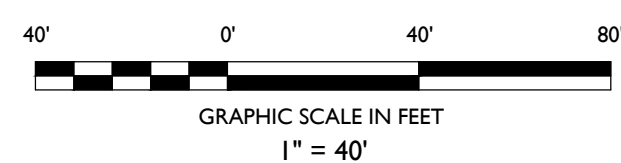
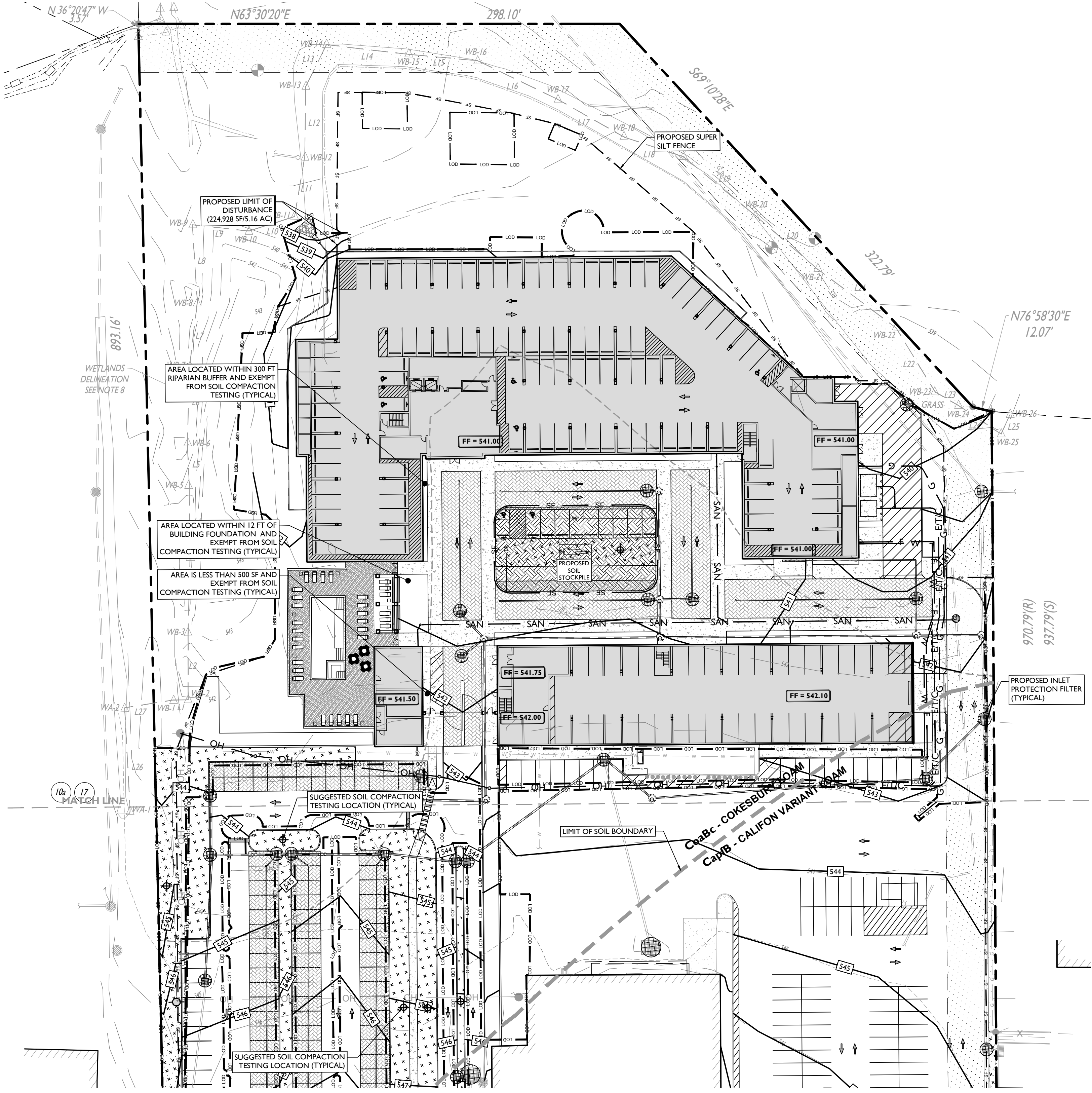
**MORRIS COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL NOTES:**

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY, AND WILL BE IN PLACE PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW OR HAY AND TACKED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS. SEE NOTE 21 BELOW.
- PERMANENT VEGETATION IS TO BE ESTABLISHED ON EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH IS TO BE USED FOR PROTECTION UNTIL VEGETATION IS ESTABLISHED. SEE NOTE 22 BELOW.
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS (STEEP SLOPES, SANDY SOILS, WET CONDITIONS) SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN ACCORDANCE WITH NOTE 21 BELOW.
- TEMPORARY DIVERSION BERMS ARE TO BE INSTALLED ON ALL CLEARED ROADWAYS AND EASEMENT AREAS. SEE THE DIVERSION DETAIL.
- PERMANENT SEEDING AND STABILIZATION TO BE IN ACCORDANCE WITH THE "STANDARDS FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION COVER", SPECIFIED RATES AND LOCATIONS SHALL BE ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN.
- THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SO THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
- ALL SEDIMENTATION STRUCTURES (SILT FENCE, INLET FILTERS, AND SEDIMENT BASINS) WILL BE INSPECTED AND MAINTAINED DAILY.
- STOCKPILES SHALL NOT BE LOCATED WITHIN 50' OF A FLOODPLAIN, SLOPE, DRAINAGE FACILITY, OR ROADWAY. ALL STOCKPILE BASES SHALL HAVE A SILT FENCE PROPERLY ENTRENCHED AT THE TOE OF SLOPE.
- A STABILIZED CONSTRUCTION ACCESS WILL BE INSTALLED, WHENEVER AN EARTHEN ROAD INTERSECTS WITH A PAVED ROAD. SEE THE STABILIZED CONSTRUCTION ACCESS DETAIL AND CHART FOR DIMENSIONS.
- ALL NEW ROADWAYS WILL BE TREATED WITH SUITABLE SUBBASE UPON ESTABLISHMENT OF FINAL GRADE ELEVATIONS.
- PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
- BEFORE DISCHARGE POINTS BECOME OPERATIONAL, ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED AS REQUIRED.
- ALL DEWATERING OPERATIONS MUST BE DISCHARGED DIRECTLY INTO A SEDIMENT FILTER AREA. THE FILTER SHOULD BE COMPOSED OF A FABRIC OR APPROVED MATERIAL. SEE THE DEWATERING DETAIL.
- ALL TREES OUTSIDE THE DISTURBANCE LIMIT INDICATED ON THE SUBJECT PLAN OR THOSE TREES WITHIN THE DISTURBANCE AREA WHICH ARE DESIGNATED TO REMAIN AFTER CONSTRUCTION ARE TO BE PROTECTED WITH TREE PROTECTION DEVICES. SEE THE TREE PROTECTION DETAIL.
- THE MORRIS COUNTY SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE ON SITE OR OFF SITE EROSION PROBLEMS DURING CONSTRUCTION.
- THE MORRIS COUNTY SOIL CONSERVATION DISTRICT MUST BE NOTIFIED, IN WRITING, AT LEAST 72 HOURS PRIOR TO ANY LAND DISTURBANCE, AND A PRE-CONSTRUCTION MEETING HELD.
- CONTRACTOR TO SET UP A MEETING WITH THE INSPECTOR FOR PERIODIC INSPECTIONS OF THE TEMPORARY SEDIMENT BASIN PRIOR TO AND DURING ITS CONSTRUCTION.
- TOPSOIL STOCKPILE PROTECTION
  - APPLY GROUND LIMESTONE AT A RATE OF 90 LBS PER 1000 SQ. FT.
  - APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS PER 1000 SQ. FT.
  - APPLY PERENNIAL RYEGRASS SEED AT 1 LB. PER 1000 SQ. FT. AND ANNUAL RYEGRASS AT 1 LB. PER 1000 SQ. FT.
  - MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS. PER 1000 SQ. FT.
  - APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.
  - PROPERTY ENTRENCH A SILT FENCE AT THE BOTTOM OF THE STOCKPILE.
- TEMPORARY STABILIZATION SPECIFICATIONS
  - APPLY GROUND LIMESTONE AT A RATE OF 90 LBS PER 1000 SQ. FT.
  - APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS PER 1000 SQ. FT.
  - APPLY PERENNIAL RYEGRASS SEED AT 1 LB. PER 1000 SQ. FT. AND ANNUAL RYEGRASS AT 1 LB. PER 1000 SQ. FT.
  - MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS. PER 1000 SQ. FT.
  - APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.
- PERMANENT STABILIZATION SPECIFICATIONS
  - APPLY TOPSOIL TO A DEPTH OF 5 INCHES (UNSETTLED).
  - APPLY GROUND LIMESTONE AT A RATE OF 90 LBS PER 1000 SQ. FT. AND WORK FOUR INCHES INTO SOIL.
  - APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS. PER 1000 SQ. FT.
  - APPLY HARD FESCUE SEED AT 2.7 LBS. PER 1000 SQ. FT. AND CREEPING RED FESCUE SEED AT 0.7 LBS. PER 1000 SQ. FT. AND PERENNIAL RYEGRASS SEED AT 0.25 LBS PER 1000 SQ. FT.
  - MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS. PER 1000 SQ. FT.
  - APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.

**SOIL EROSION AND SEDIMENT CONTROL NOTES**

- THE CONTRACTOR IS RESPONSIBLE FOR SOIL EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL AIR QUALITY STANDARDS.
- THE CONTRACTOR IS RESPONSIBLE TO INSPECT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND AFTER A PRECIPITATION EVENT GREATER THAN 1 INCH. THE CONTRACTOR SHALL MAINTAIN AN INSPECTION LOG ON SITE AND DOCUMENT CORRECTIVE ACTION TAKEN THROUGHOUT THE COURSE OF CONSTRUCTION AS REQUIRED.

SYMBOL	DESCRIPTION
---	PROPERTY BOUNDARY
- - - -	ADJACENT PROPERTY BOUNDARY
LOD --- LOD	PROPOSED LIMIT OF DISTURBANCE
---	PROPOSED SILT FENCE
---	PROPOSED HAYBALES
⊗	PROPOSED INLET PROTECTION FILTER
⊙	SOIL COMPACTION TESTING LOCATION
+	AREA SUBJECT TO COMPACTION REMEDIATION



PK	DATE	BY	DESCRIPTION
1	10/20/23		FOR MUNICIPAL SUBMISSION
			ISSUE

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**V-FEE MENDHAM APARTMENTS, LLC**

**PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT**

PRELIMINARY AND FINAL SITE PLAN

BLOCK 801, LOT 20  
84-90 EAST MAIN STREET  
BOROUGH OF MENDHAM  
MORRIS COUNTY, NEW JERSEY

MATTHEW J. SECKLER, P.E.  
NEW JERSEY LICENSE NO. 48721  
LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
engineering & design

SCALE: 1" = 40' PROJECT ID: RUT-200218

TITLE:  
**SOIL EROSION & SEDIMENT CONTROL PLAN**

DRAWING:  
**C-15**

Z:\MORRIS\020218\020218-001-1101-DEVELOPMENT - 8495 EAST MAIN STREET - MENDHAM, NEW JERSEY\DWG\15-16-REG.DWG













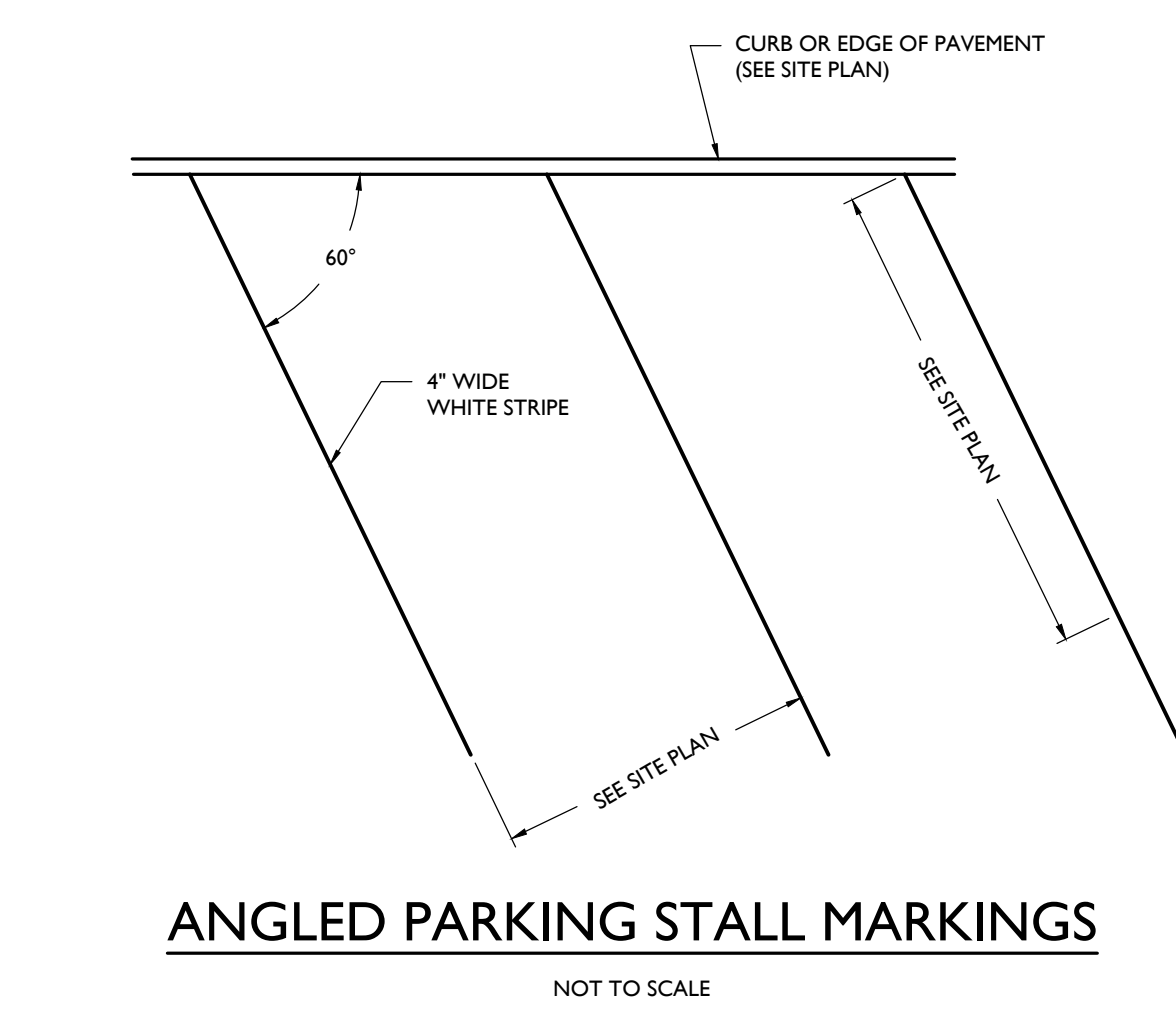
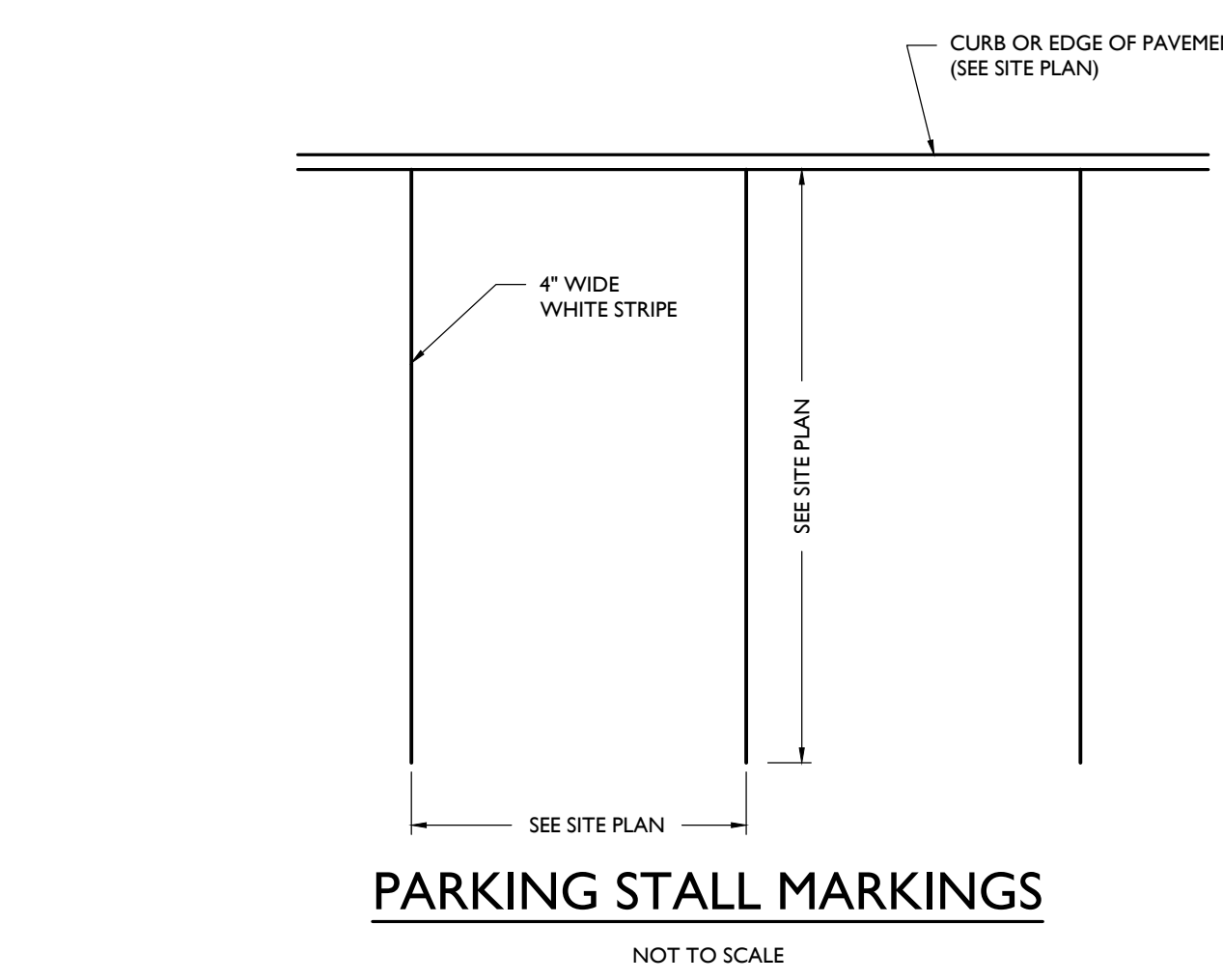
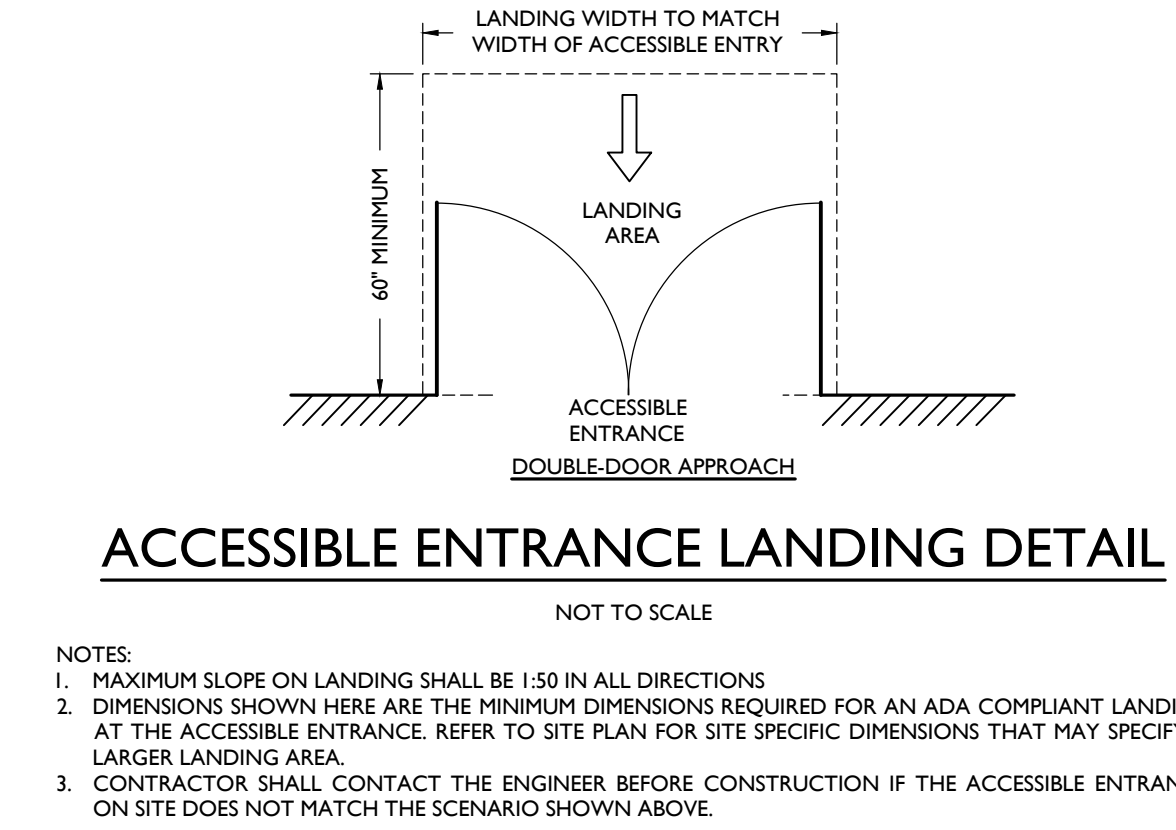
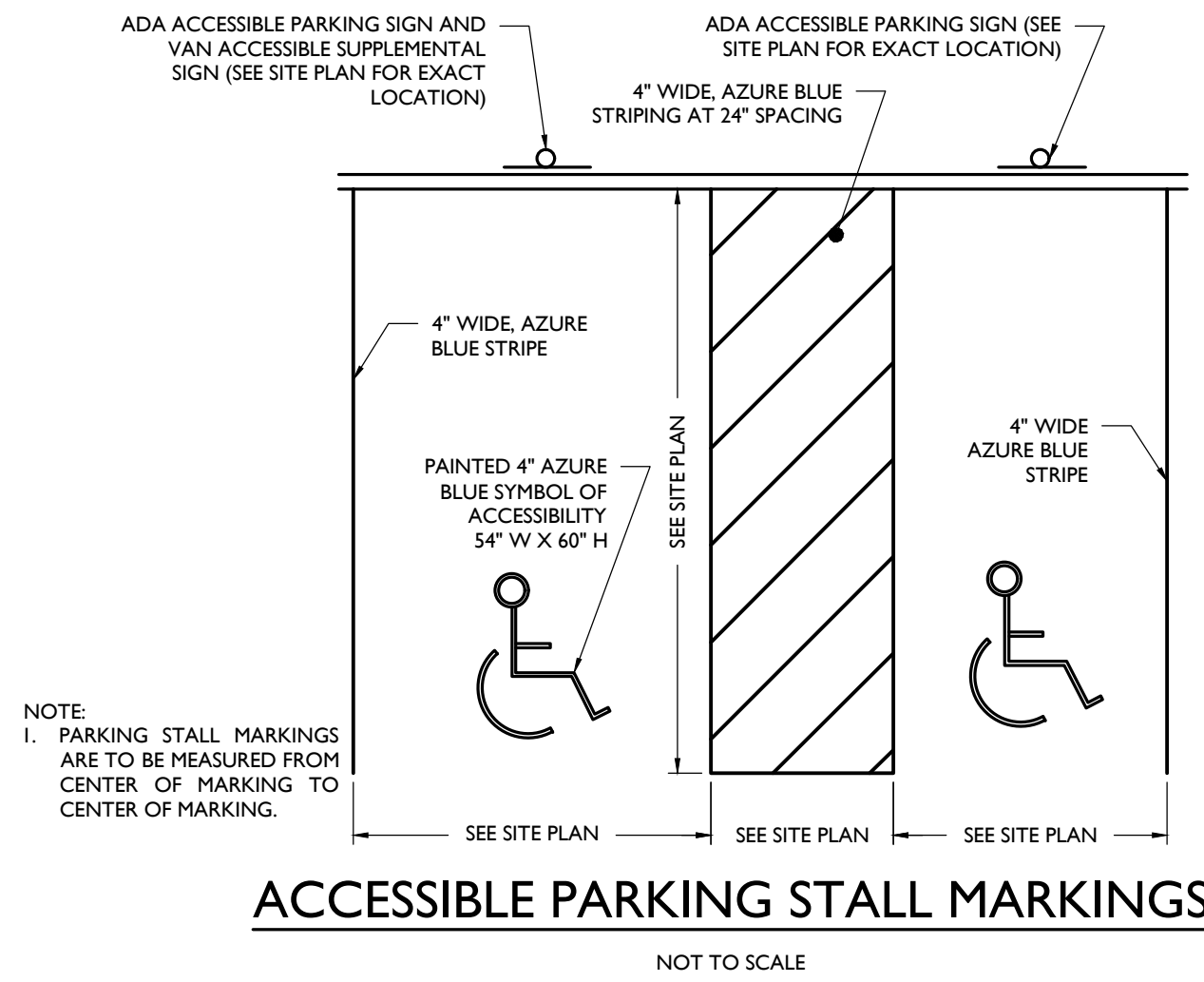
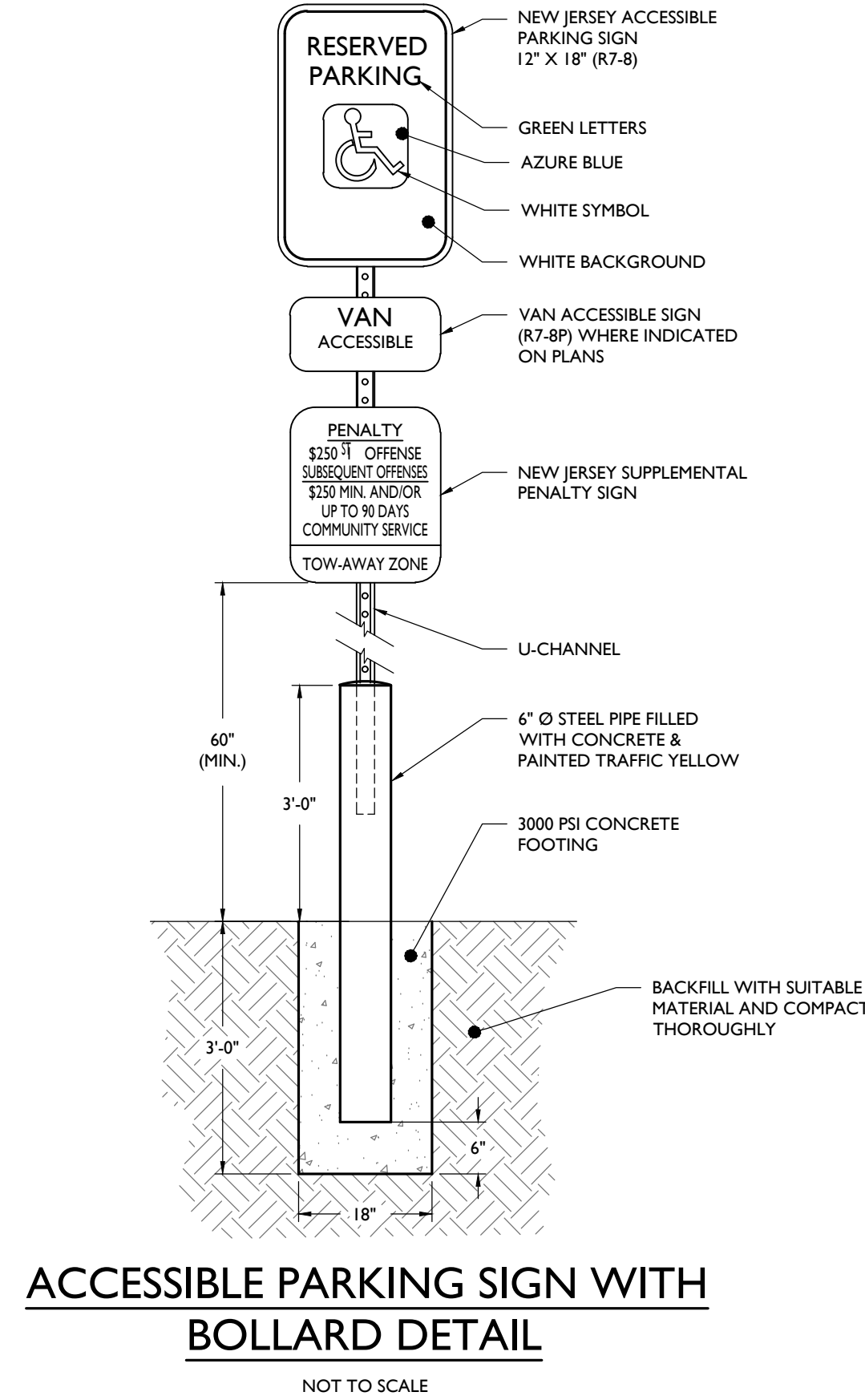
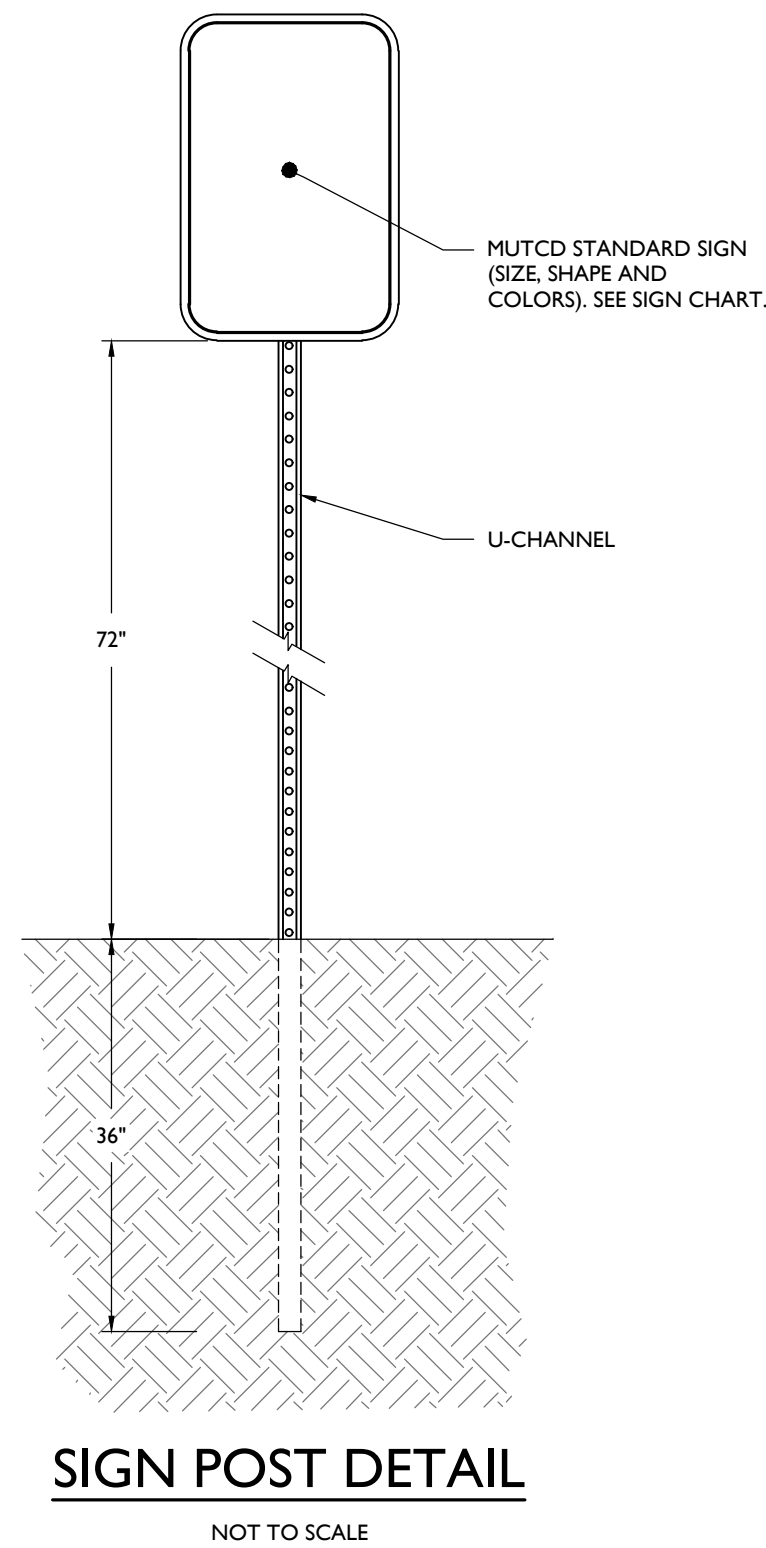












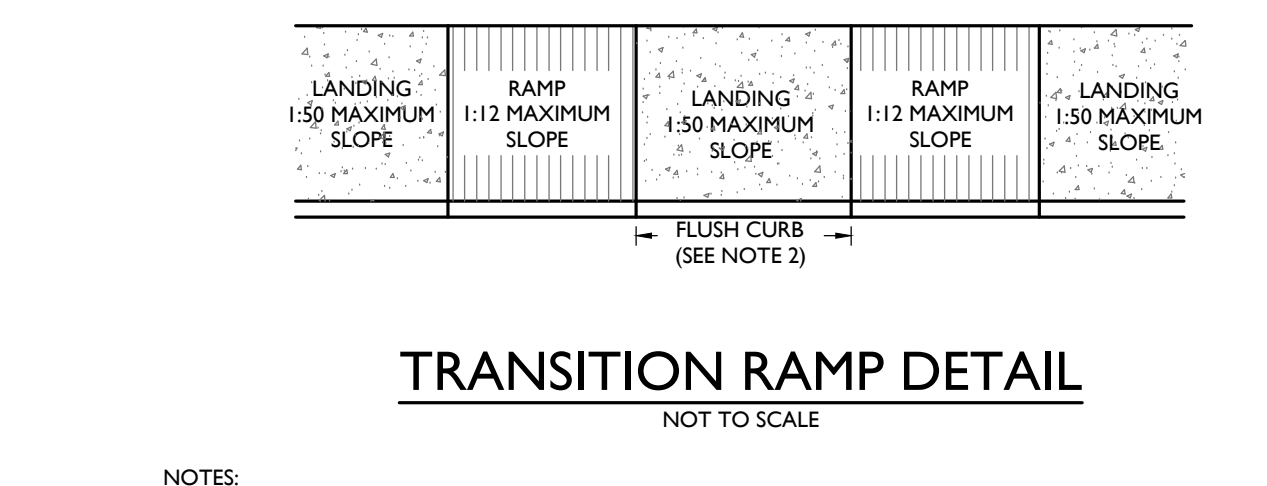
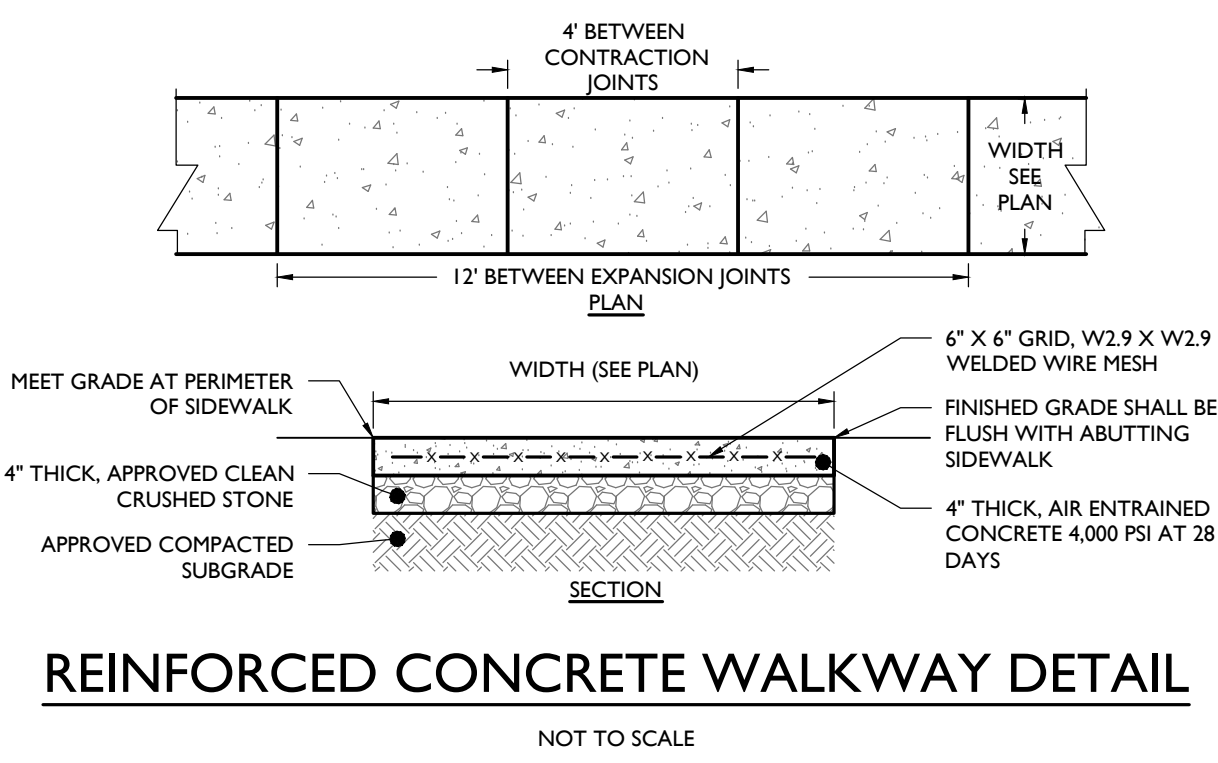
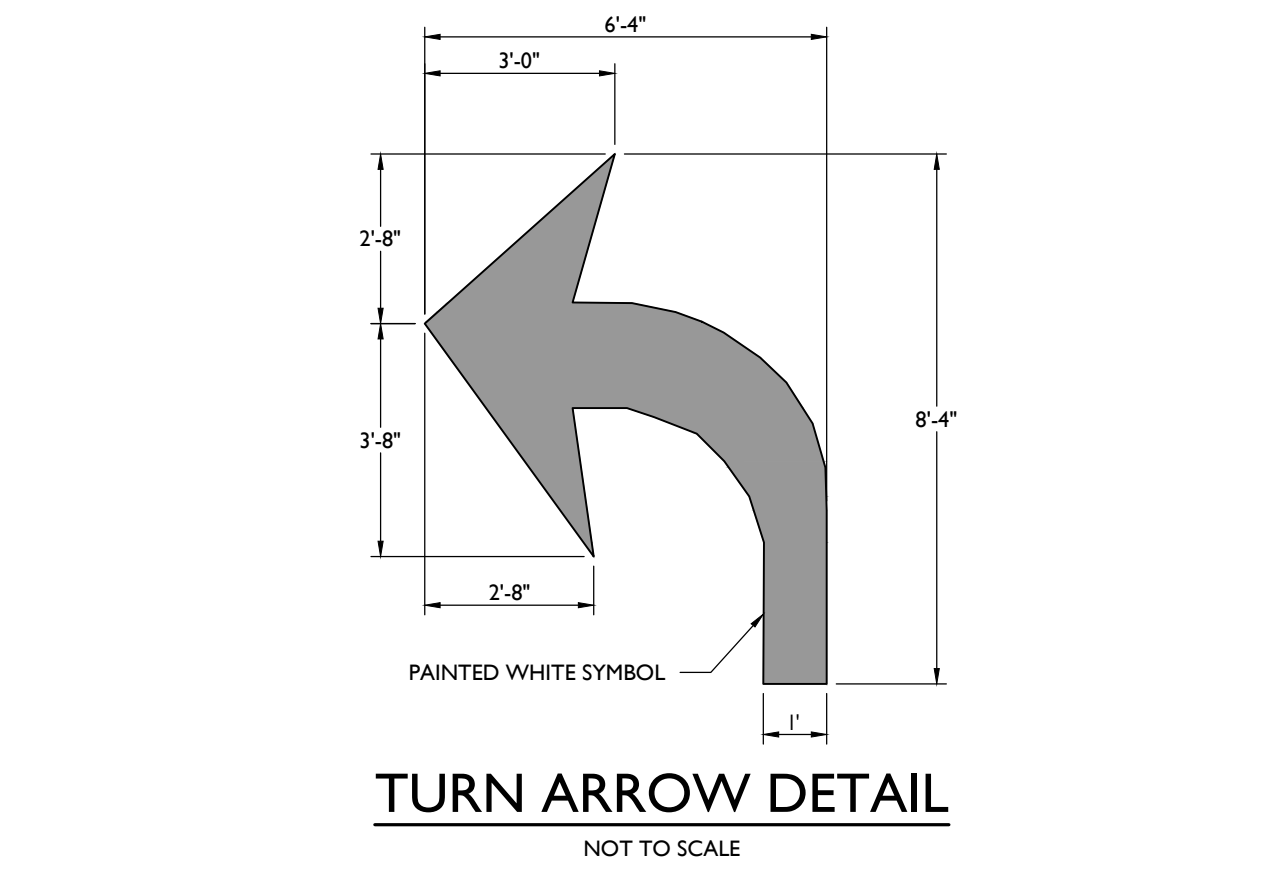
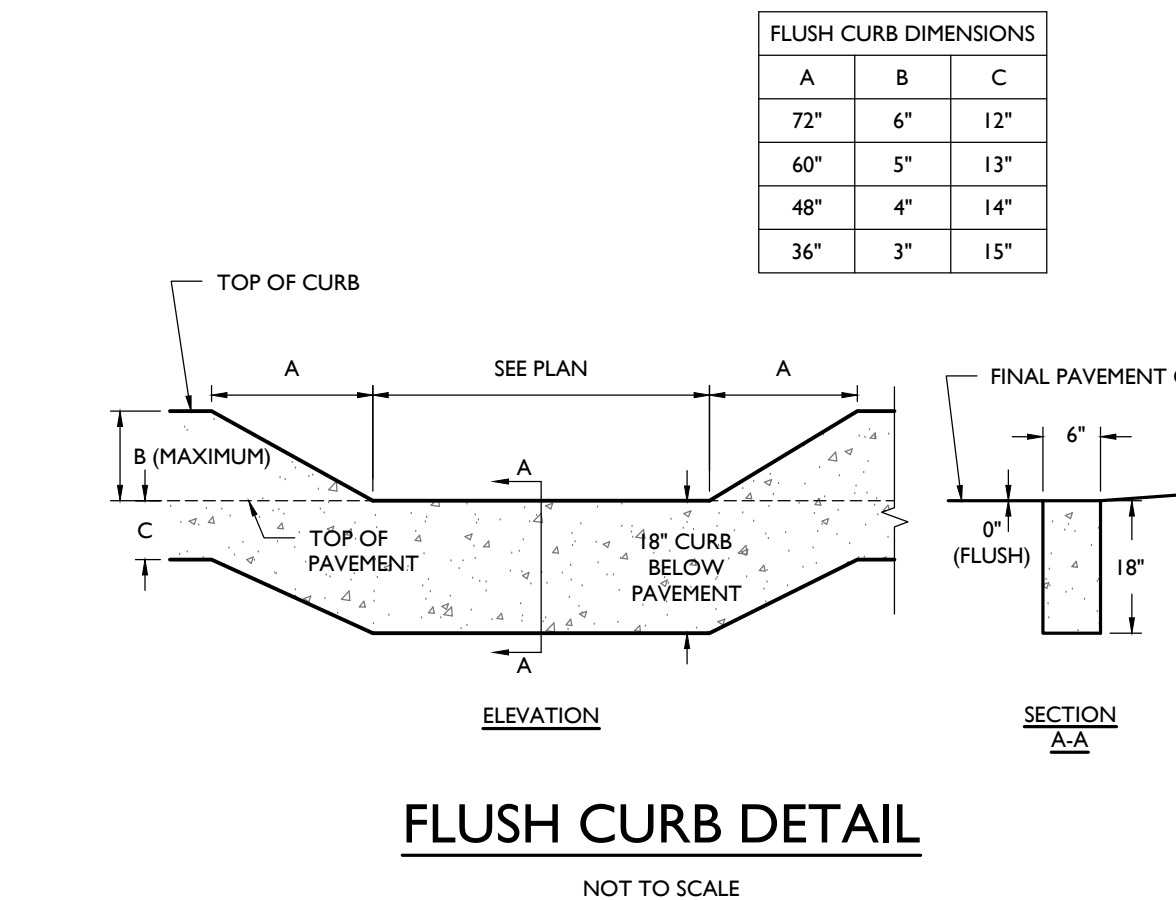
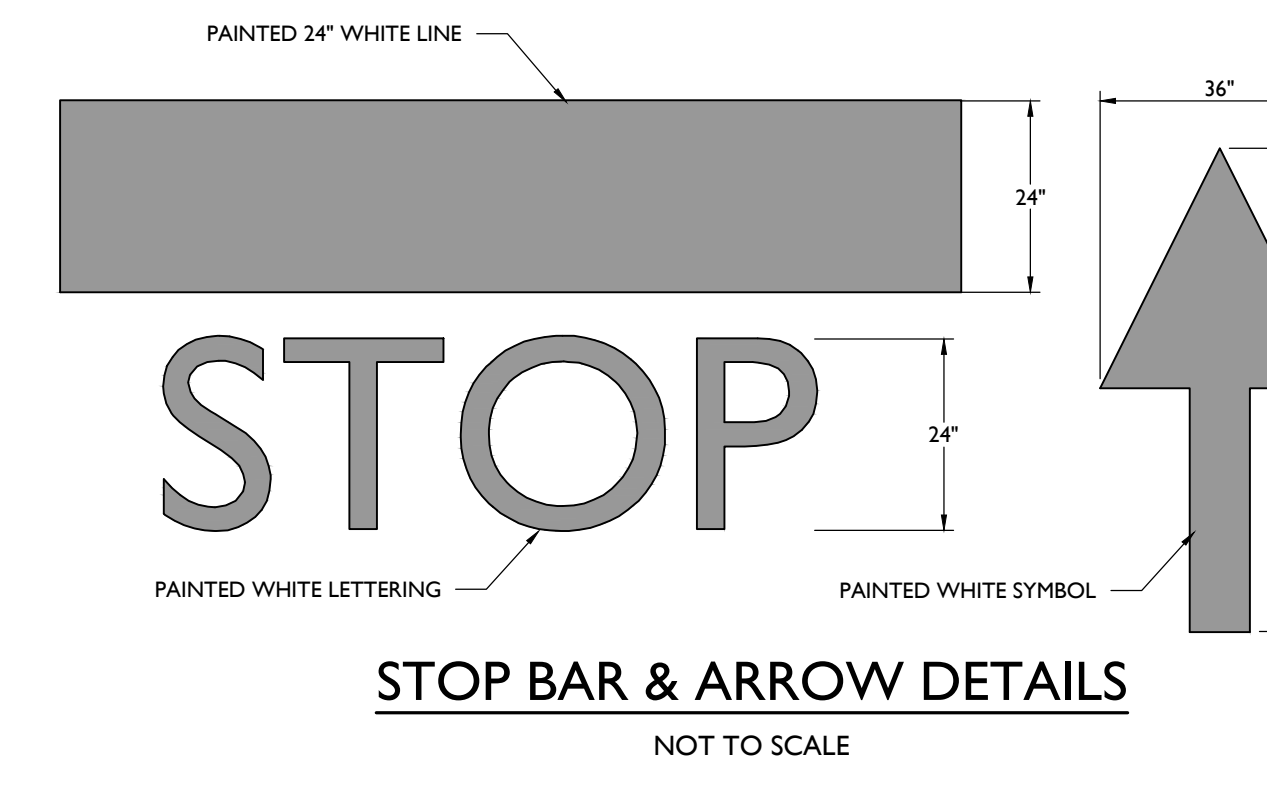
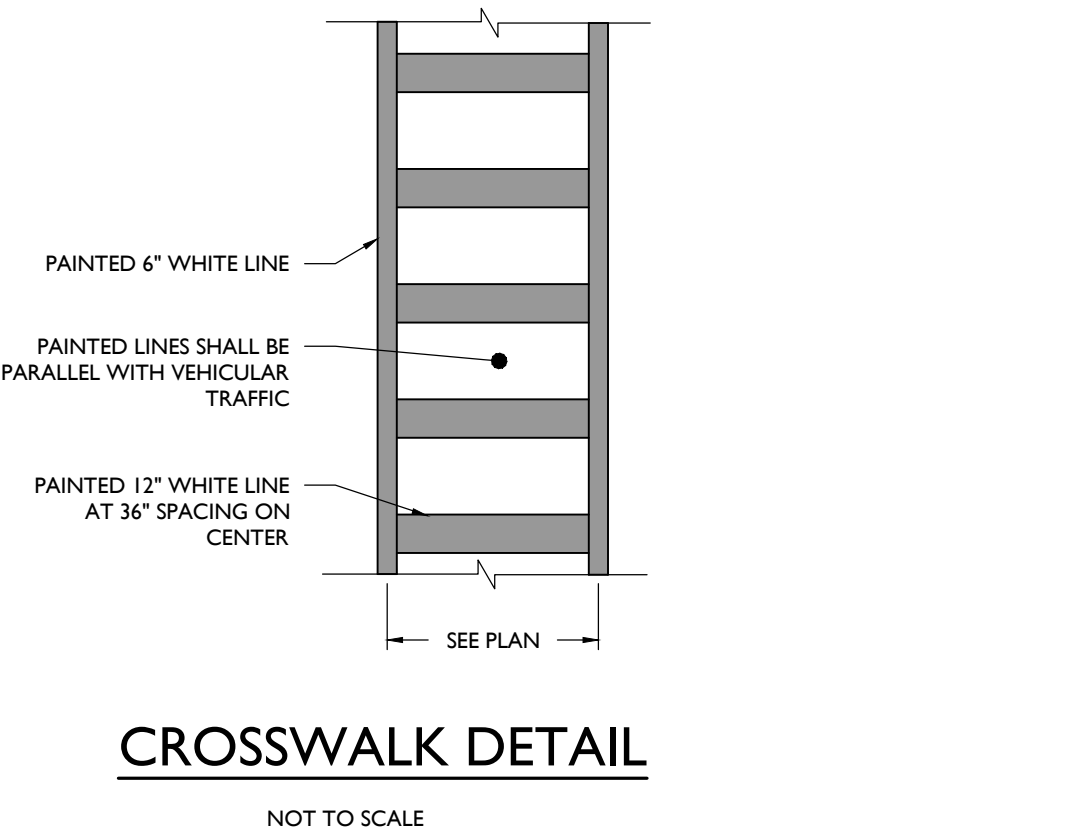
M.U.T.C.D. NUMBER	TEXT	COLOR		SIZE OF SIGN (WIDTH X HEIGHT)	TYPE OF MOUNT
		LEGEND	BACKGROUND		
STOP SIGN (R1-1)		RED	WHITE	36"x36"	GROUND
ONE DIRECTION ARROW-RIGHT (W1-6R)		BLACK	YELLOW	36"x18"	GROUND
ONE DIRECTION ARROW-LEFT (W1-6L)		BLACK	YELLOW	36"x18"	GROUND
DO NOT ENTER (R5-1)		RED	WHITE	30"x30"	GROUND

NOTE:

1. ALL SIGNS SHALL BE IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), EXCEPT AS NOTED.
2. ALL SIGNS SHALL BE MOUNTED AS TO NOT OBSTRUCT THE SHAPE OF "STOP" (R1-1) AND "YIELD" (R1-2) SIGNS.

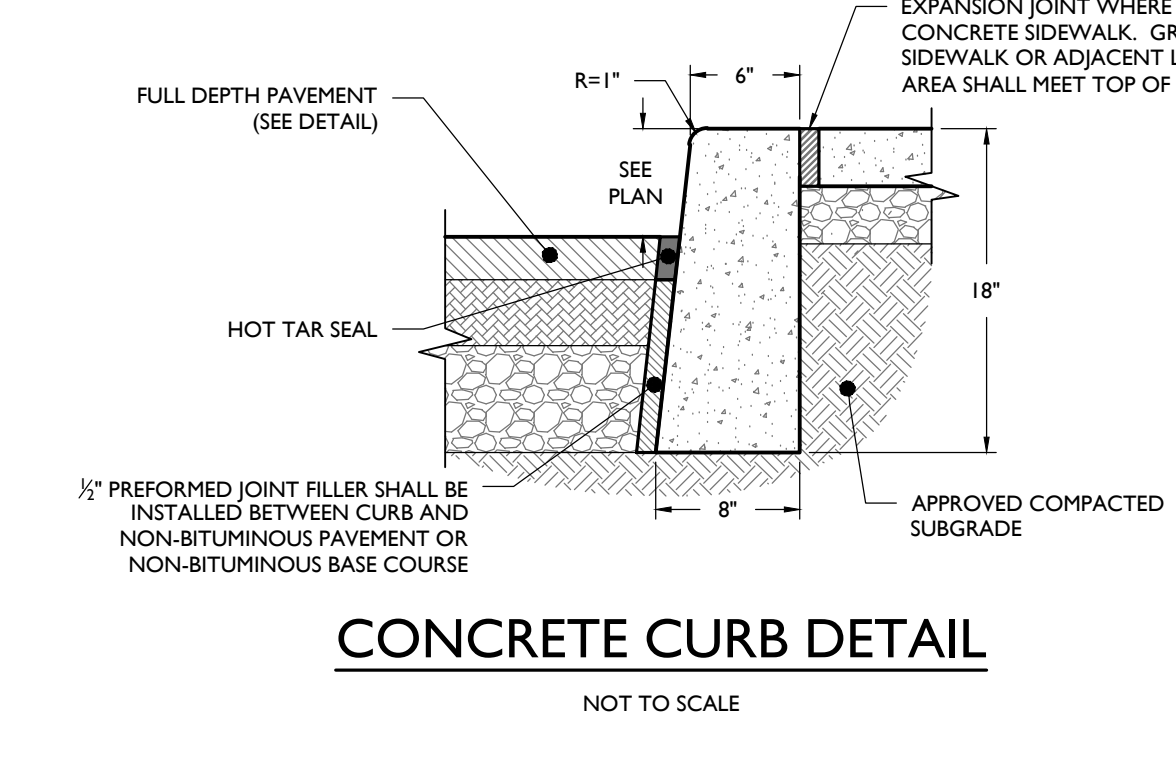
**SIGN DATA TABLE**

NOT TO SCALE



NOTES:

1. CROSS SLOPE ON RAMP SHALL NOT EXCEED 2%
2. A FLUSH CURB SHALL HAVE A MINIMUM WIDTH OF 36". SEE PLAN FOR EXACT WIDTH.
3. RAMP SHALL HAVE A MAXIMUM RISE OF 6" WITHOUT A HANDRAIL



NOTES:

1. CONCRETE SHALL BE 3500 PSI AT 28 DAYS, AIR-ENTRAINED.
2. TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED AT 20 FOOT INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM SURFACE.
3. HALF DEPTH CONTRACTION JOINTS SHALL BE PROVIDED AT 10 FOOT INTERVALS.
4. 18" CURB DEPTH SHALL BE MAINTAINED AT DEPRESSED OR FLUSH CURBED AREAS.

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NO.	DATE	ISSUE	BY	DESCRIPTION
1	10/20/2024	FOR MUNICIPAL SUBMISSION		

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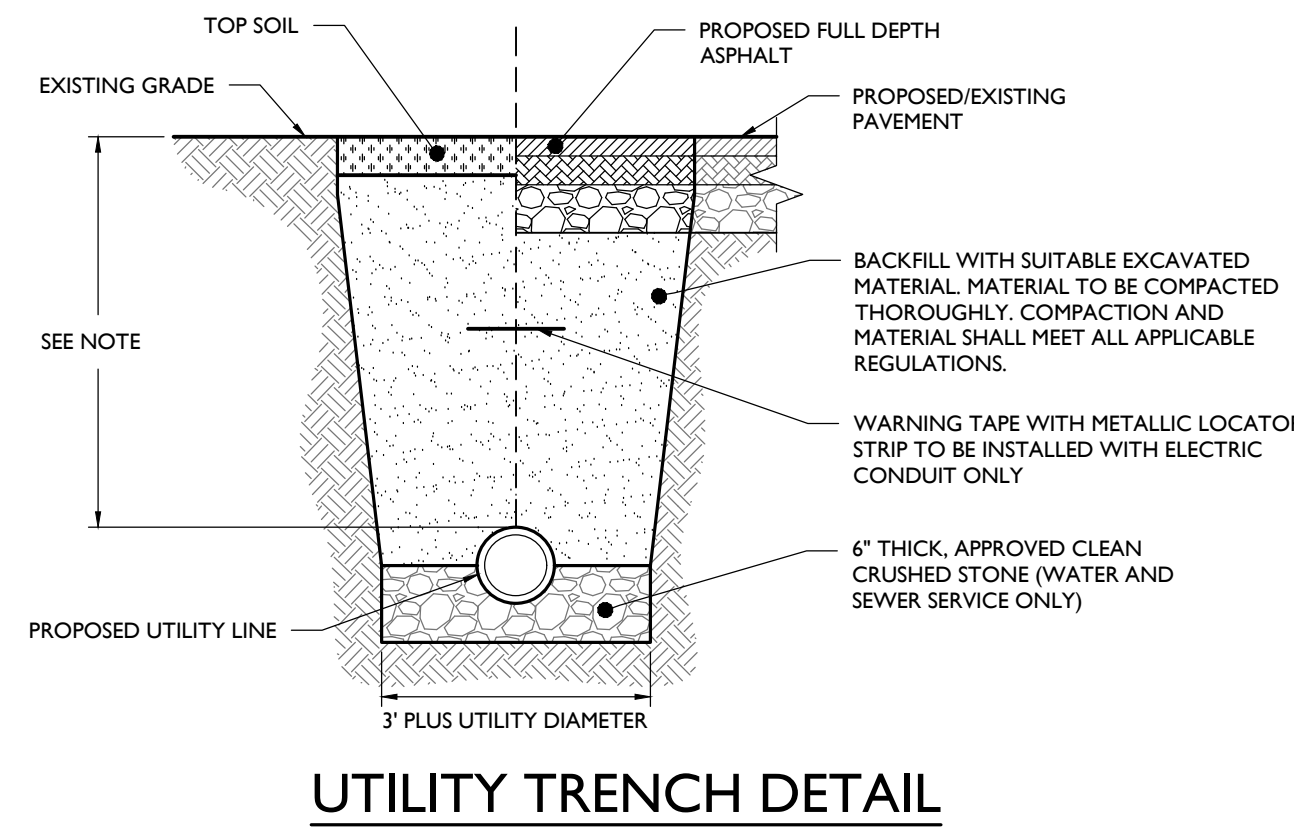
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SCALE: N.T.S. PROJECT ID: RUT-200218

TITLE: **CONSTRUCTION DETAILS**

DRAWING: **C-21**

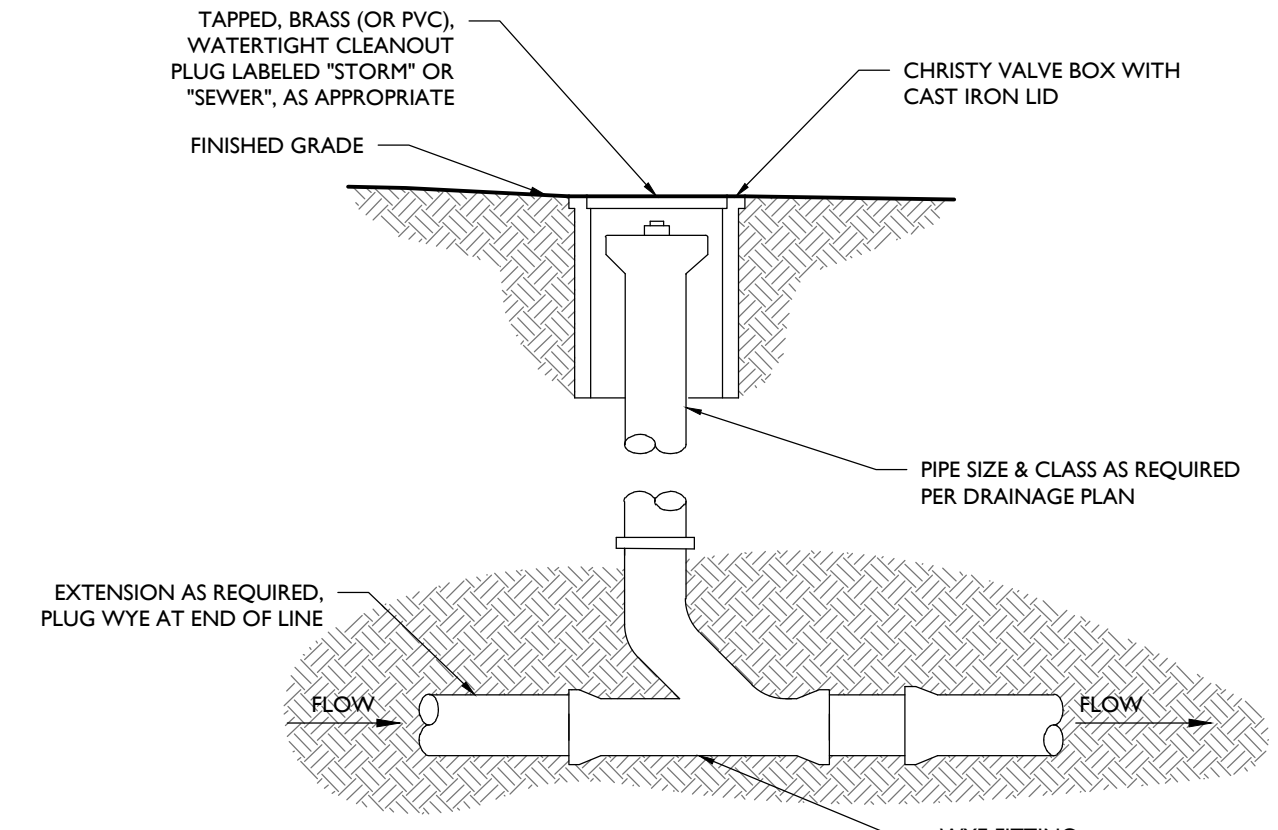




**UTILITY TRENCH DETAIL**

NOT TO SCALE

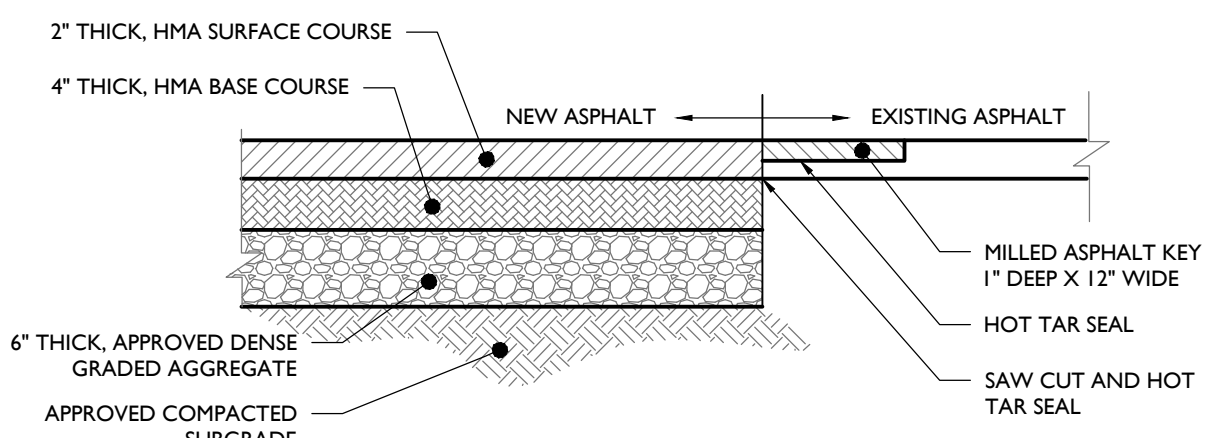
**NOTE:**  
MINIMUM PIPE COVER SHALL BE AS FOLLOWS:  
• ELECTRIC SERVICE - PER APPLICABLE UTILITY AUTHORITY  
• GAS SERVICE - PER APPLICABLE UTILITY AUTHORITY  
• SEWER SERVICE - 36" MINIMUM  
• WATER SERVICE - 48" MINIMUM



**SOFTSCAPE CLEAN-OUT**

NOT TO SCALE

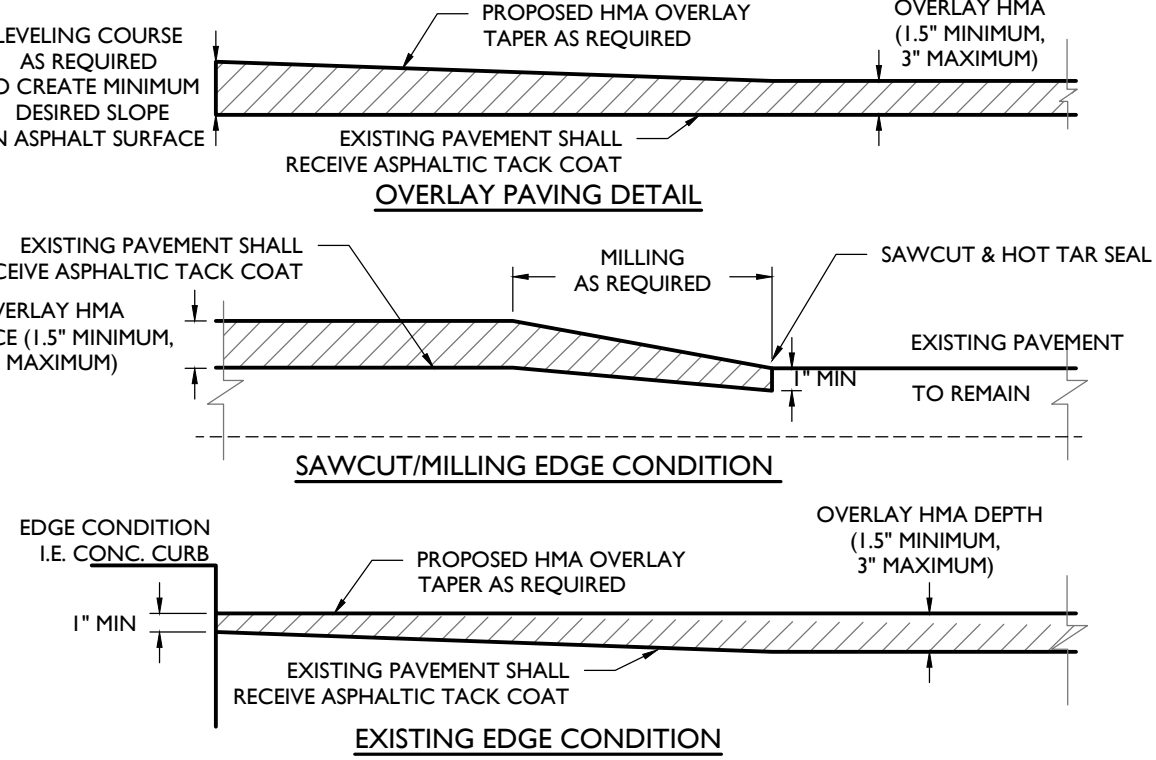
**NOTES:**  
1. STRUCTURE TO BE CONSTRUCTED OF REINFORCED PRECAST CONCRETE.  
2. FRAME AND GRATE TO BE CAST-IRON AND SUPPORT MINIMUM H-25 LOADING.  
3. ALL JOINTS TO BE WATER-TIGHT.  
4. SUBGRADE BENEATH STRUCTURE SHALL BE LEVELED AND COMPACTED AS NECESSARY PRIOR TO INSTALLING STRUCTURE.



**FULL DEPTH ASPHALT PAVEMENT DETAIL**

NOT TO SCALE

**NOTE:**  
HMA MIX AND DENSE GRADED AGGREGATE SHALL CONFORM TO STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.



**PAVEMENT MILLING & OVERLAY DETAIL**

NOT TO SCALE

**NOTES:**  
1. PERVIOUS PAVEMENT MUST BE IN ACCORDANCE WITH NJ STORMWATER BEST MANAGEMENT PRACTICES MANUAL, CHAPTER 9.6.  
2. FILTER FABRIC IS REQUIRED ALONG THE SIDES AND BOTTOM OF THE SYSTEM TO PREVENT MITIGATION OF FINES FROM THE SURROUNDING SOIL.  
3. THE STORAGE BED IN THIS TYPE OF SYSTEM CONSISTS OF AN AGGREGATE LAYER AND AN UNDERDRAIN, WHICH IS A NETWORK OF PIPES THAT COLLECT RUNOFF AND TRANSPORT IT TO THE OUTFLOW SECTION OF THE SYSTEM.  
3.1. THE AGGREGATE LAYER MUST HAVE SUFFICIENT DEPTH TO PROVIDE AT LEAST 3 INCHES OF AGGREGATE ABOVE AND BELOW THE PIPE NETWORK. IT MUST CONSIST OF CLEAN, WASHED, OPEN-GRADED AASHTO NO. 2 BROKEN STONE.  
3.2. WITHIN THE AGGREGATE LAYER, THE NETWORK OF PIPES MUST BE ABLE TO WITHSTAND THE DESIGN LOADS.  
3.3. THE MANHOLE OR OTHER MECHANISMS USED TO COLLECT FLOW FROM THE PERVIOUS PAVING SYSTEM MUST BE NON-PERFORATED.  
3.4. ALL JOINTS MUST BE SECURE AND WATER-TIGHT.  
3.5. THE CAPACITY OF THE UNDERDRAIN MUST BE SUFFICIENT TO ALLOW THE SYSTEM TO DRAIN WITHIN 72 HOURS.  
4. THE SEASONAL HIGH WATER TABLE (SHWT) OR BEDROCK MUST BE AT LEAST 1 FOOT BELOW THE BOTTOM OF THE STORAGE BED.  
5. AT LEAST ONE INSPECTION PORT, WITH A REMOVABLE CAP, MUST BE PROVIDED AT THE UPSTREAM AND DOWNSTREAM ENDS OF THE PERFORATED SECTION OF THE NETWORK OF PIPES AND BE FLUSH WITH THE SURFACE OF THE SURFACE LAYER AND EACH LOCATION DENOTED IN THE MAINTENANCE PLAN. EACH INSPECTION PORT MUST BE PLACED AT LEAST 3 FEET FROM ANY EDGE. THE SIZE OF THE INSPECTION PORT MUST BE LARGE ENOUGH TO ALLOW FOR MAINTENANCE ACTIVITIES. ADDITIONALLY, EACH INSPECTION PORT MUST EXTEND DOWN TO THE UNDERDRAIN PIPE NETWORK.  
6. CONCRETE PAVERS MUST CONFORM TO ASTM C936 AND HAVE A MINIMUM THICKNESS OF 3.125 INCHES WHEN SUBJECT TO VEHICULAR TRAFFIC.  
7. IF THE PROPOSED EDGE RESTRAINT IS FLUSH CURB, THE SUBGRADE OR BASE MATERIAL UNDER THE CURB PORTION ONLY MUST BE COMPACTED.  
8. PAVER UNITS MUST BE INSTALLED OVER A BEDDING COURSE CONSISTING OF CLEAN, WASHED OPEN-GRADED AASHTO NO. 8 BROKEN STONE.  
9. THE MINIMUM CHOKER COURSE THICKNESS IS 4 INCHES.  
10. STORAGE BED AGGREGATE MUST BE CLEAN, WASHED AND OPEN-GRADED AASHTO NO. 2 BROKEN STONE.  
11. POST-CONSTRUCTION TESTING OF THE PERMEABLE INTERLOCKING PAVER UNIT SURFACE COURSE IS REQUIRED AND MUST CONFORM TO THE METHODS OF ASTM C1781 STANDARD TEST METHOD FOR SURFACE INFILTRATION RATE OF PERMEABLE UNIT PAVEMENT SYSTEMS.  
12. PERMEABLE INTERLOCKING PAVER UNITS MINIMUM INFILTRATION RATE = 6.4 INCHES/HR.

**CONSTRUCTION DETAILS**

**DRAWING: C-22**

**SCALE: N.T.S. PROJECT ID: RUT-200218**

**TITLE: CONSTRUCTION DETAILS**

**DATE: 10/07/2023**

**ISSUE: 1**

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**DESCRIPTION:**

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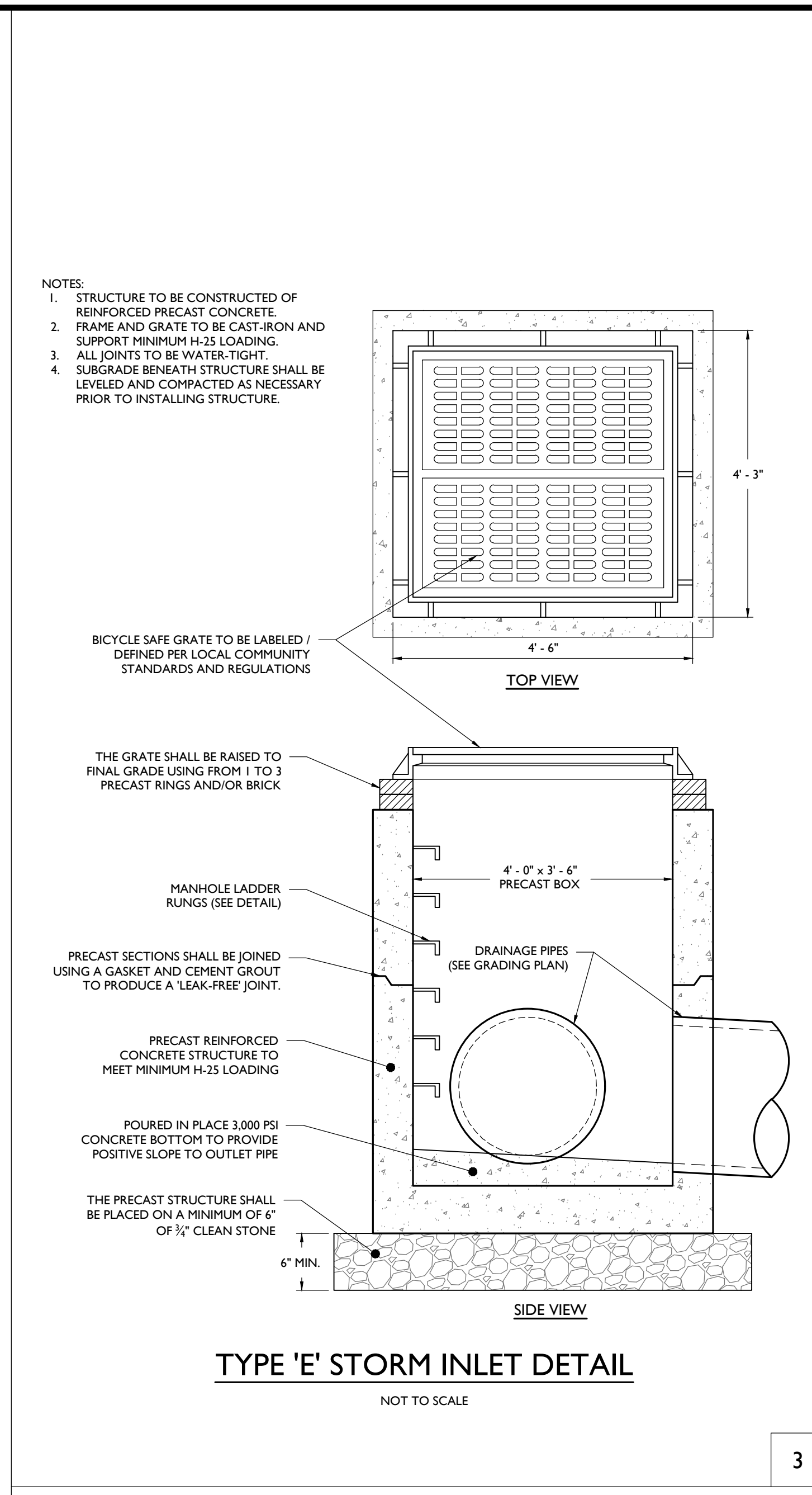
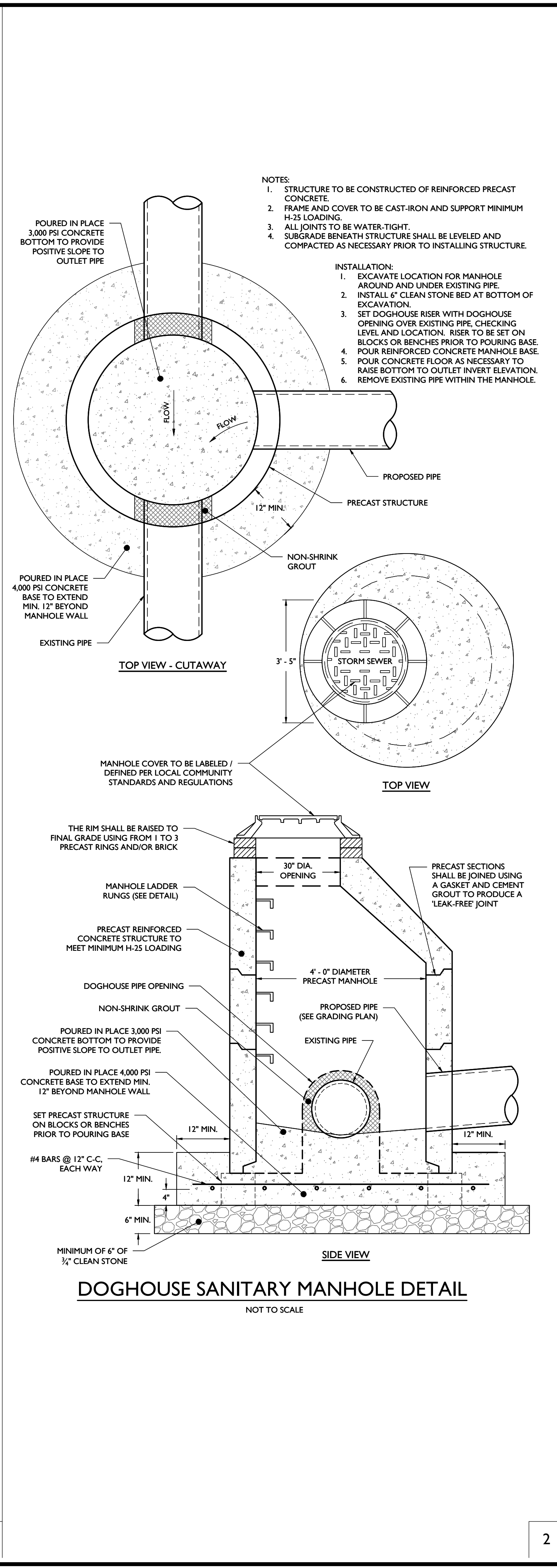
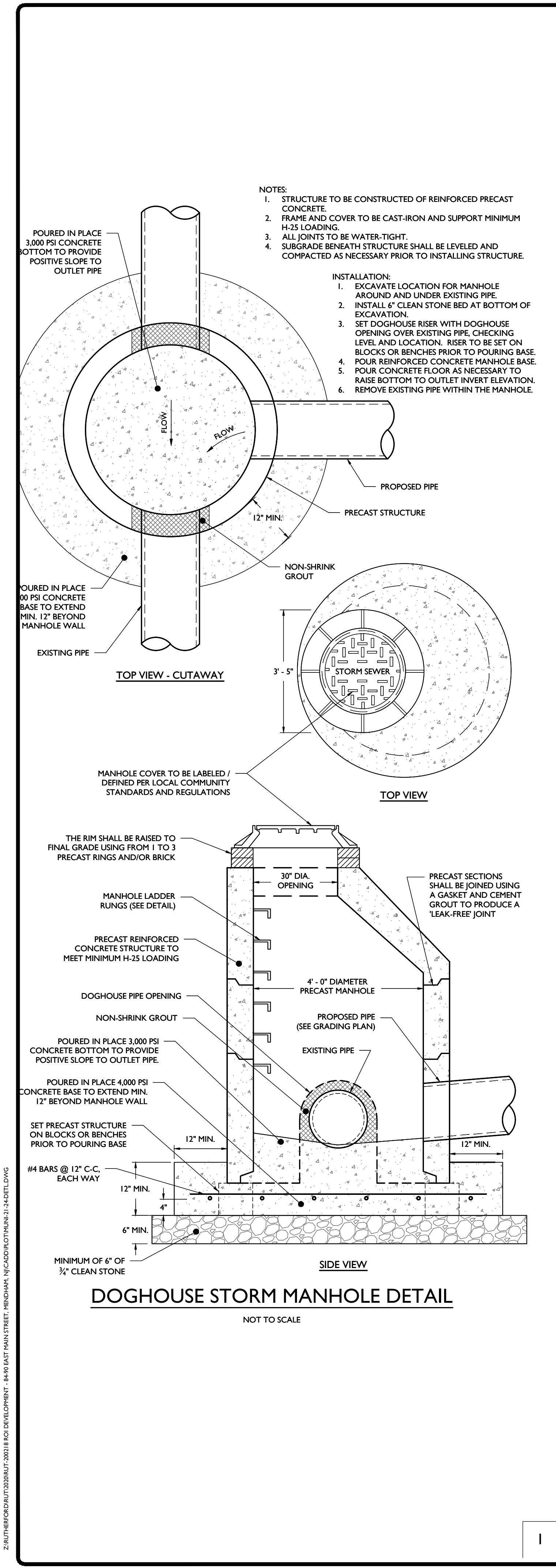
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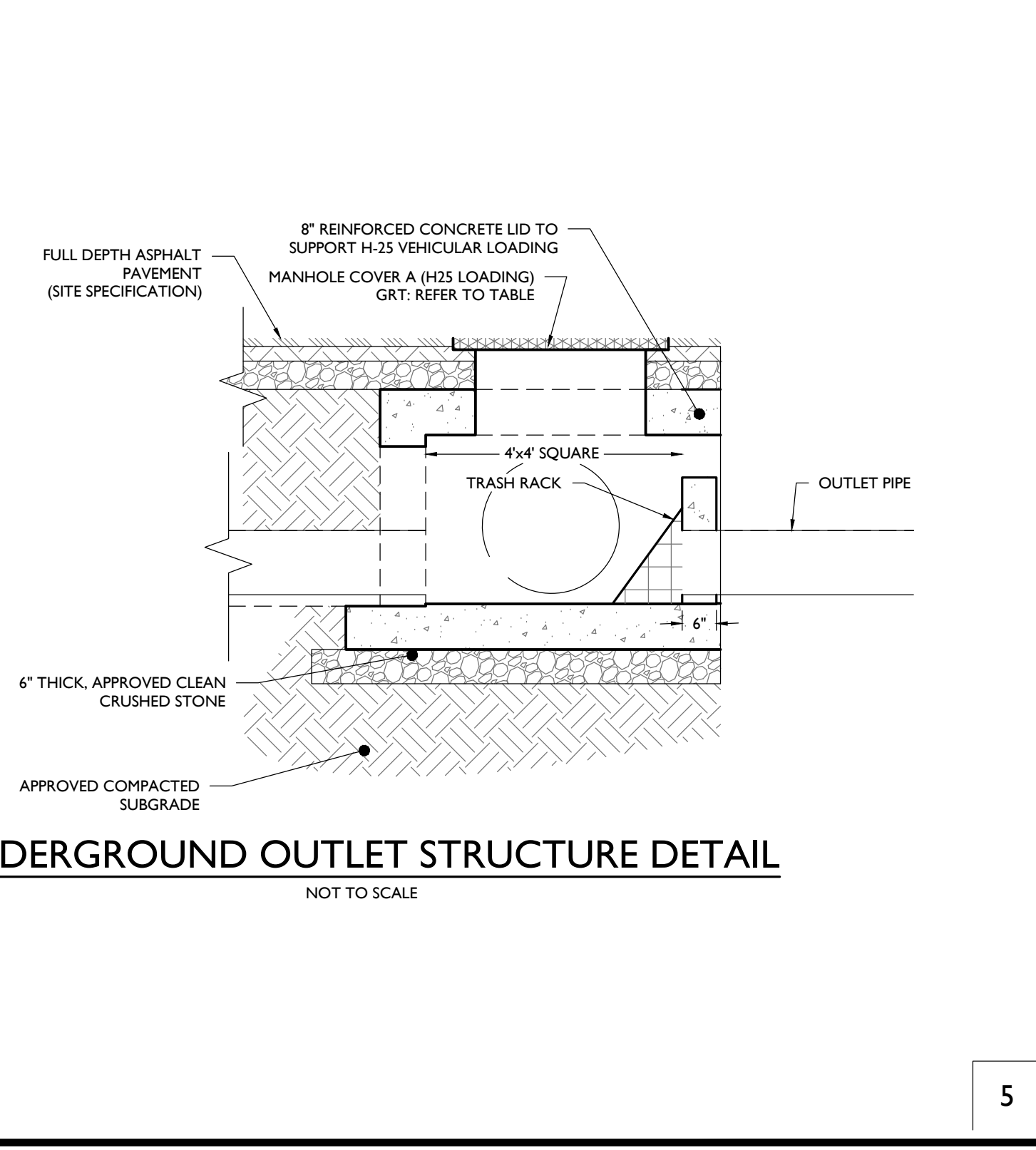
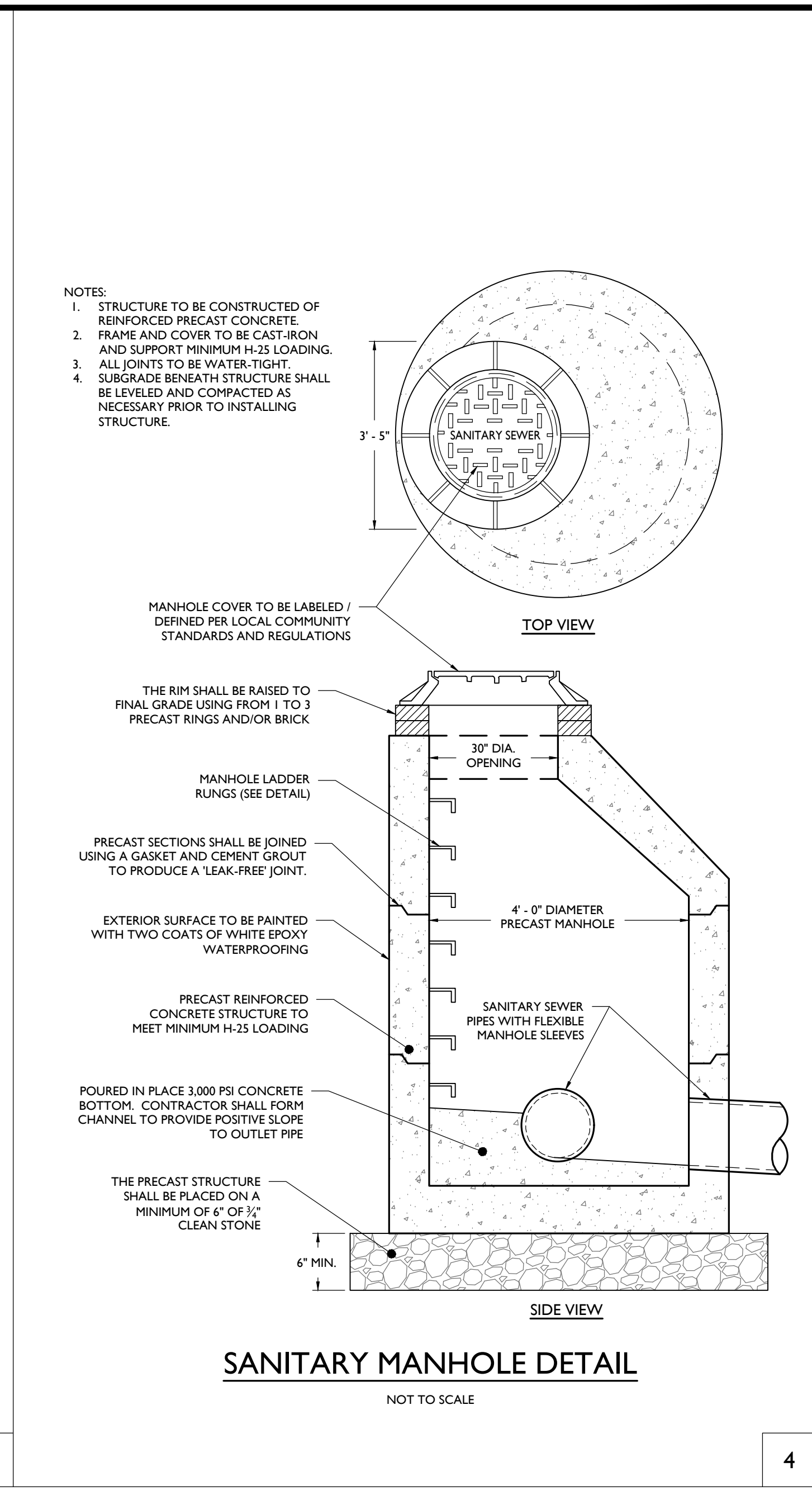
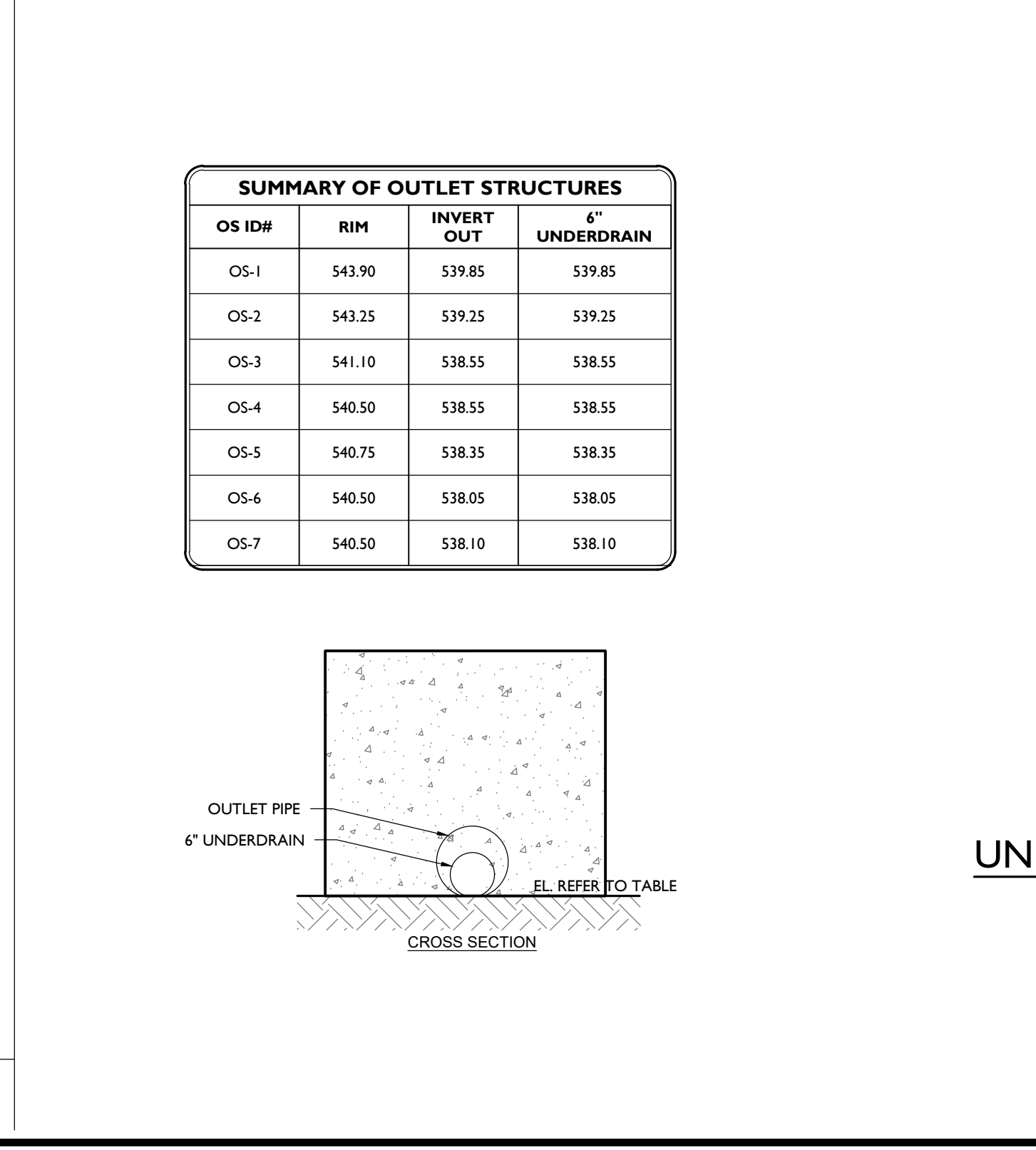






**SUMMARY OF OUTLET STRUCTURES**

OS ID#	RIM	INVERT OUT	6" UNDERDRAIN
OS-1	543.90	539.85	539.85
OS-2	543.25	539.25	539.25
OS-3	541.10	538.55	538.55
OS-4	540.50	538.55	538.55
OS-5	540.75	538.35	538.35
OS-6	540.50	538.05	538.05
OS-7	540.50	538.10	538.10



**PRELIMINARY AND FINAL SITE PLAN**

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**PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT**

BLOCK 801, LOT 20  
84-90 EAST MAIN STREET  
BOROUGH OF MENDHAM  
MORRIS COUNTY, NEW JERSEY

**STONEFIELD engineering & design**

Matthew J. Seckler, P.E.  
NEW JERSEY LICENSE No. 48731  
LICENSED PROFESSIONAL ENGINEER

**SCALE:** N.T.S. **PROJECT ID:** RUT-200218

**TITLE:** CONSTRUCTION DETAILS

**DRAWING:** C-24

**FOR MUNICIPAL SUBMISSION**

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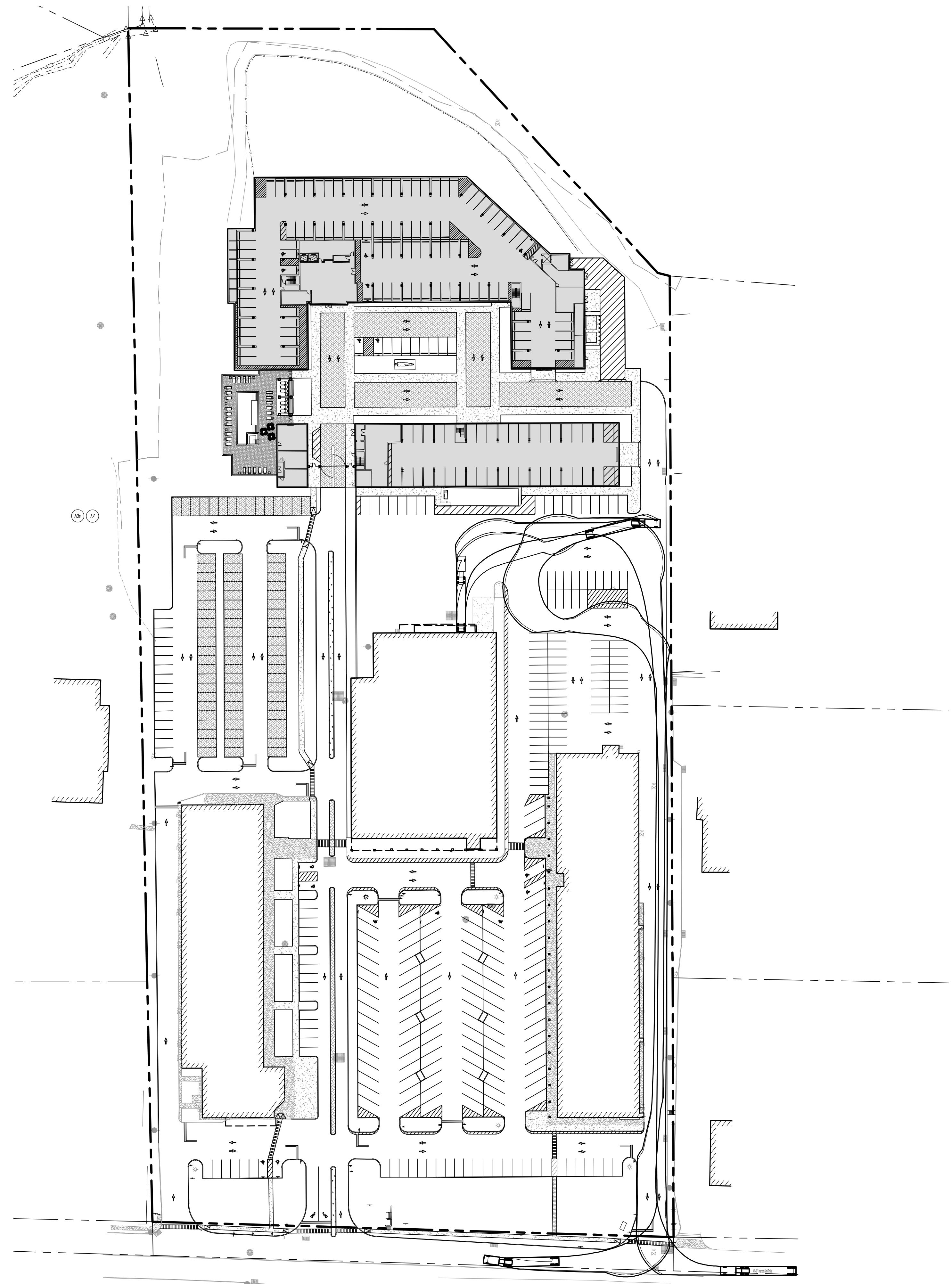
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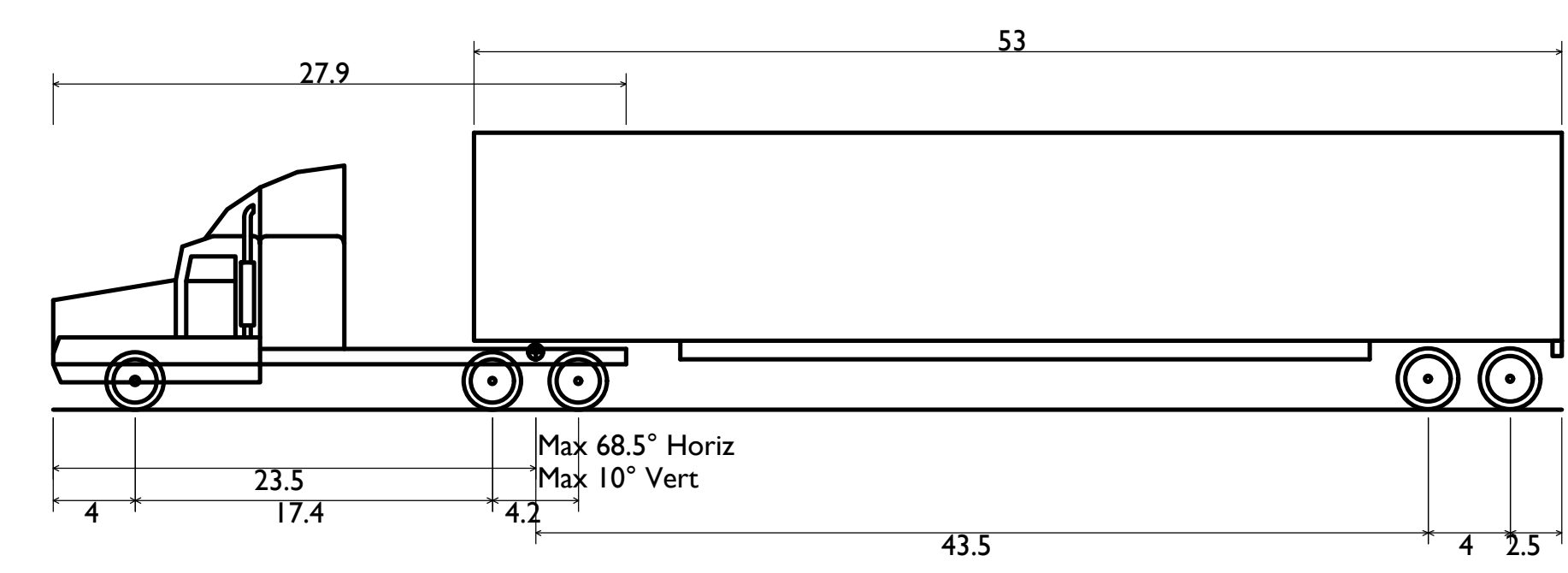
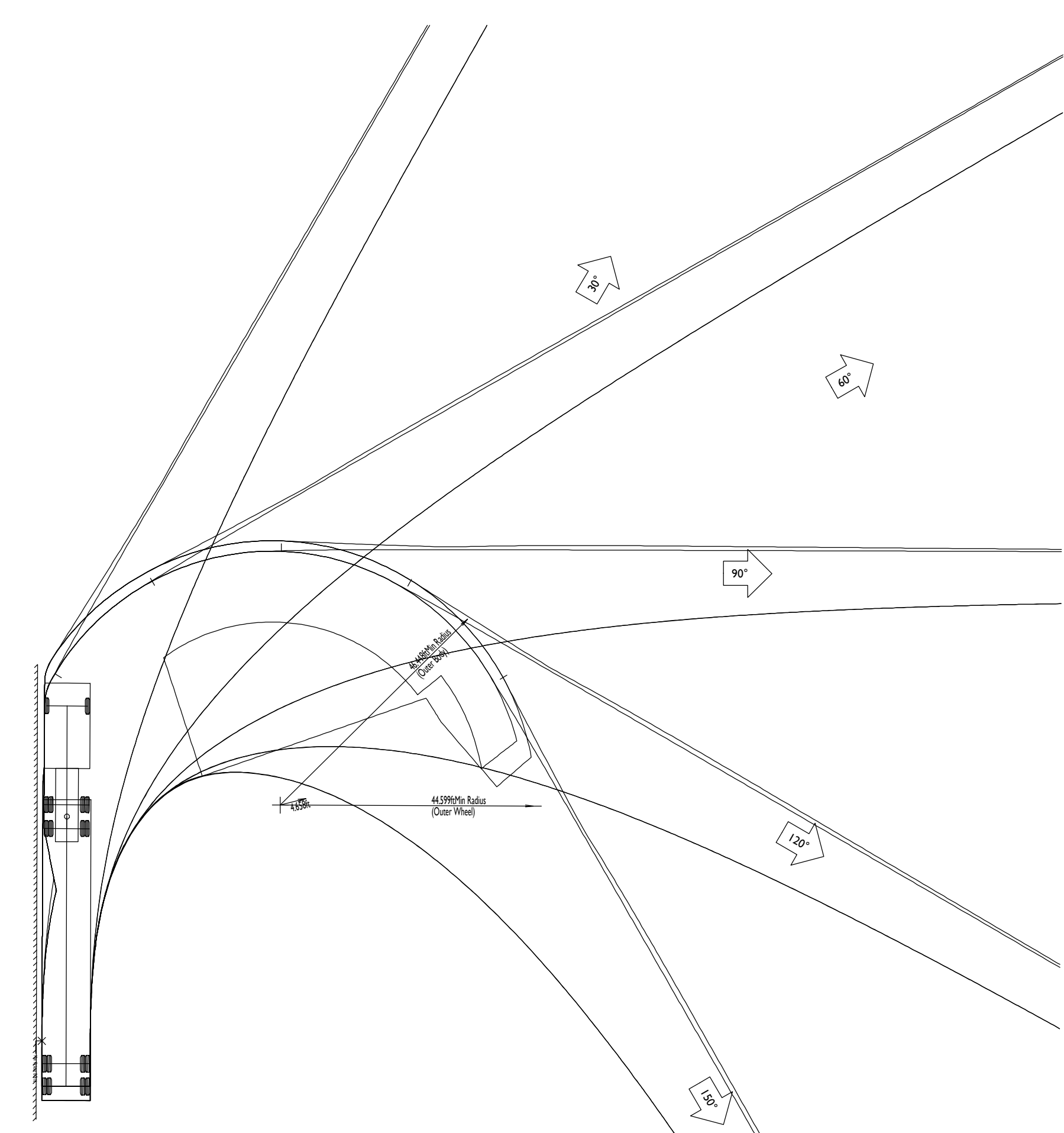
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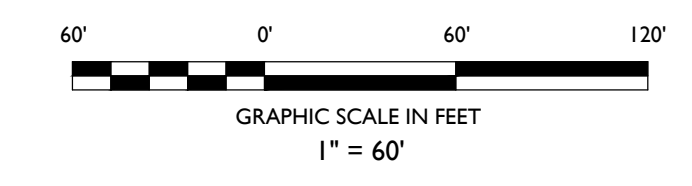
2:40 P/08/04/17/2021/100 DEVELOPMENT - 440 EAST MAIN STREET - MENDHAM, NJ/000/LOT/PLAN/2.37 TRUCKS



**EAST MAIN STREET**  
(66' WIDE RIGHT OF WAY PER TAX MAP)



**WB-67 - Interstate Semi-Trailer**  
 Overall Length 73.50 ft  
 Overall Width 8.50 ft  
 Overall Body Height 13.50 ft  
 Min Body Ground Clearance 1.334 ft  
 Max Track Width 8.500 ft  
 Lock-to-lock time 6.00s  
 Max Steering Angle (Virtual) 28.40°



PK	DATE	BY	DESCRIPTION
1	10/20/2021		FOR MUNICIPAL SUBMISSION

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**PRELIMINARY AND FINAL SITE PLAN**

**V-FEE MENDHAM APARTMENTS, LLC**

**PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT**

BLOCK 801, LOT 20  
 84-90 EAST MAIN STREET  
 BOROUGH OF MENDHAM  
 MORRIS COUNTY, NEW JERSEY

MATTHEW J. SECKLER, P.E.  
 NEW JERSEY LICENSE No. 48731  
 LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
engineering & design

SCALE: 1" = 60' PROJECT ID: RUT-200218

TITLE:  
**TRUCK TURNING (WB-67)**

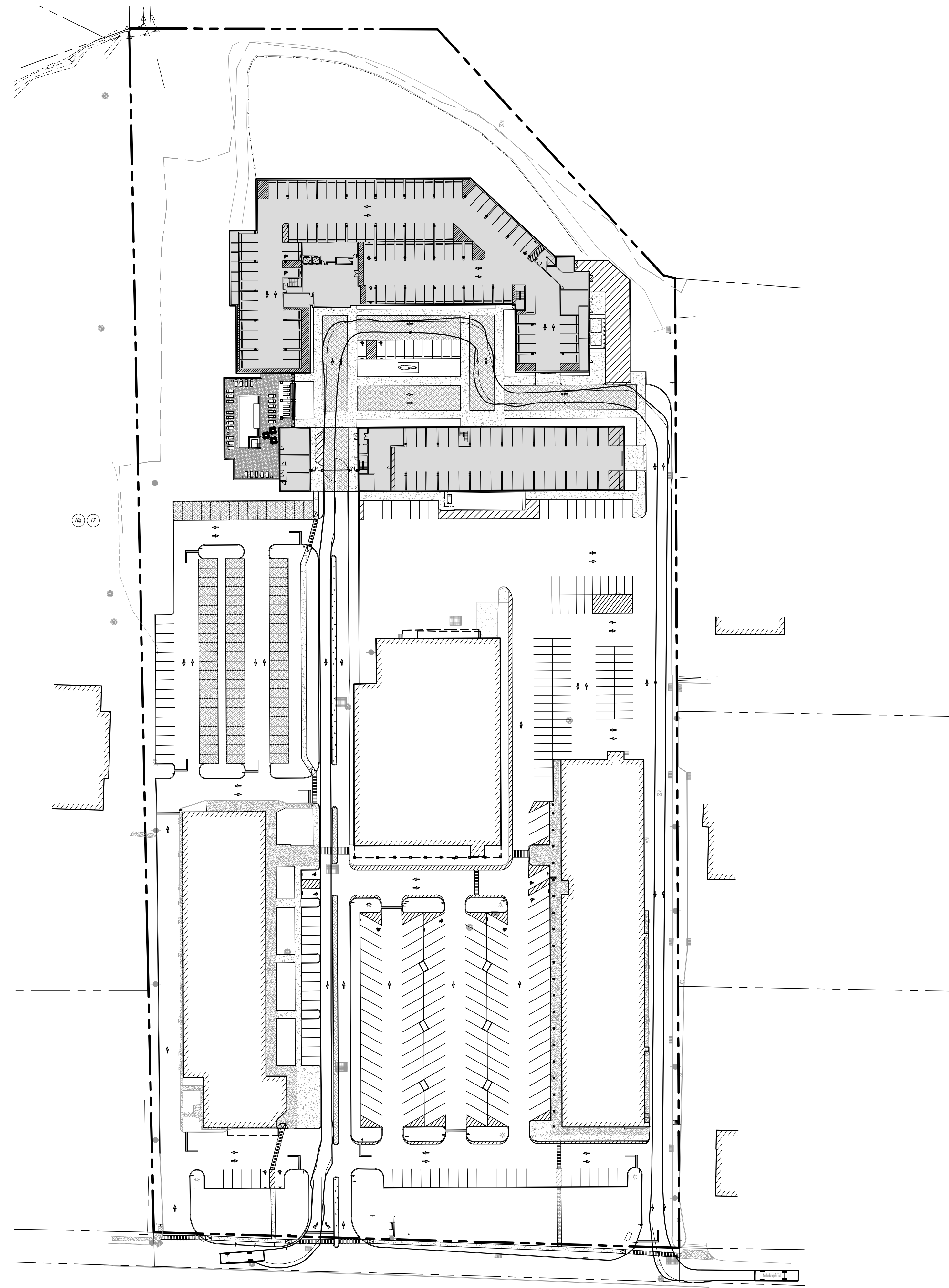
DRAWING:  
**C-25**



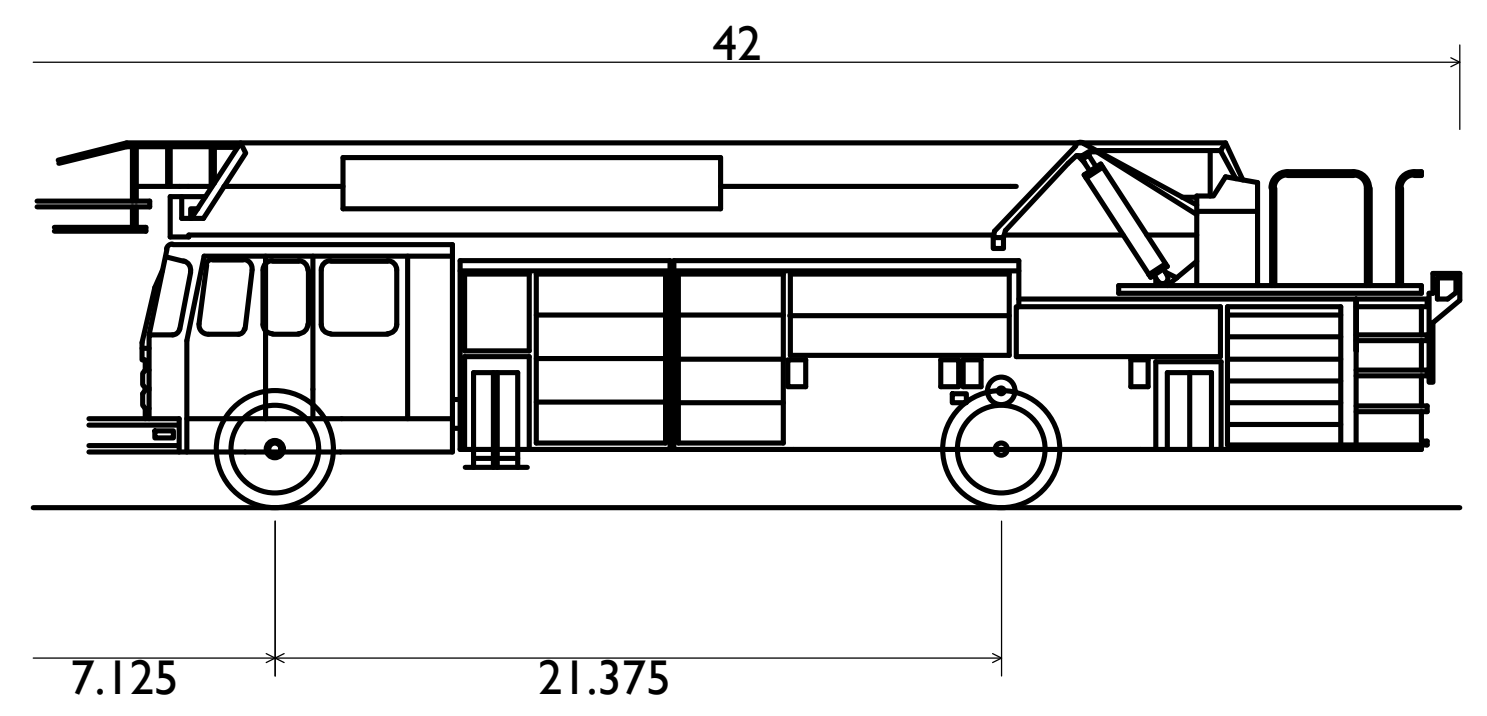
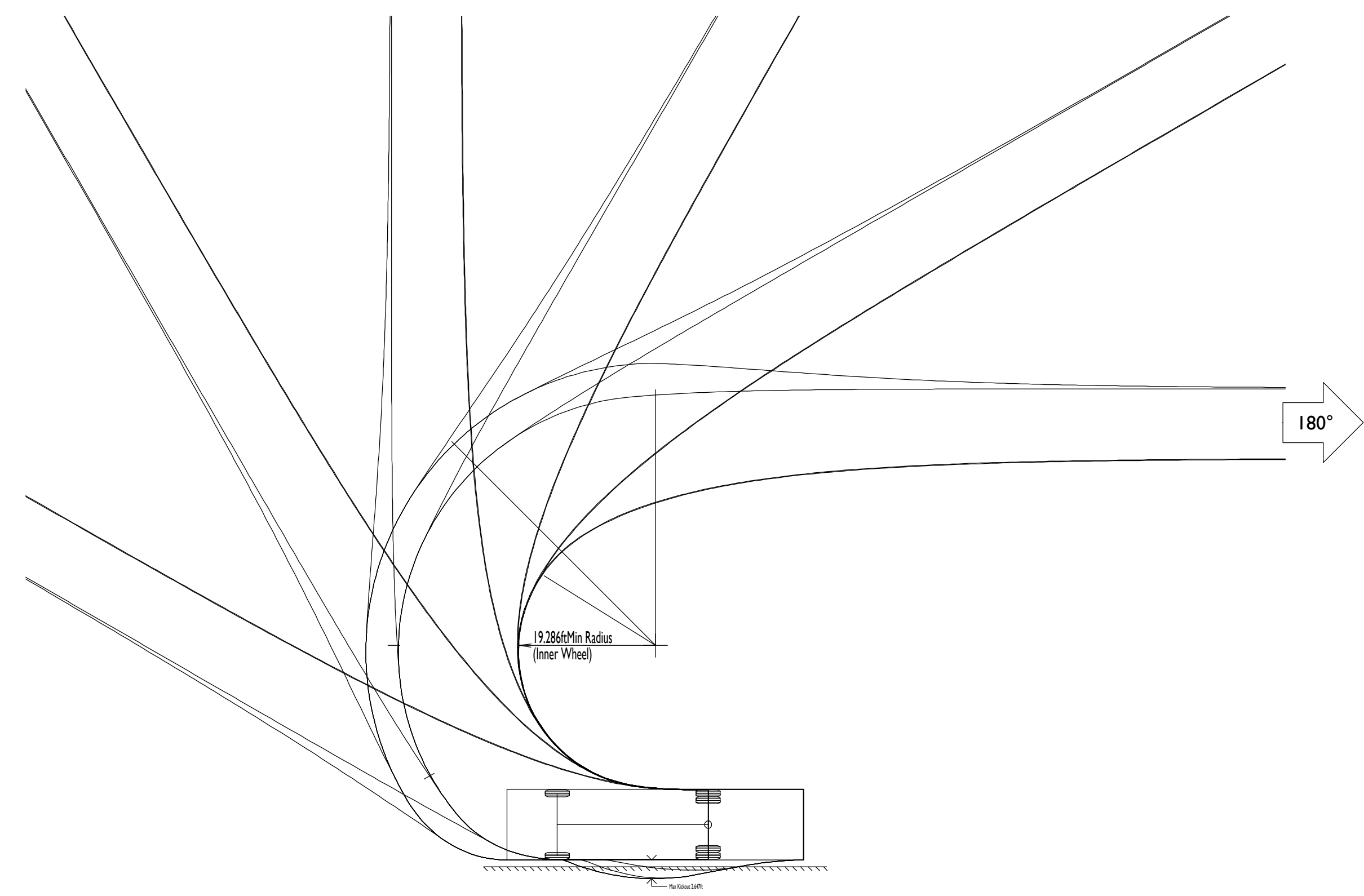




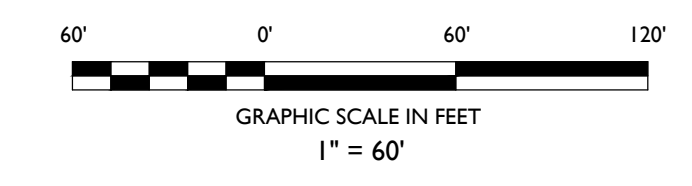
2:48 P:\PROJECTS\2021\1101 DEVELOPMENT - 8495 EAST MAIN STREET - MENDHAM, NJ\DWG\1101\1101-27 TRUCK.DWG



**EAST MAIN STREET**  
(66' WIDE RIGHT OF WAY PER TAX MAP)



Mendham Borough Fire Truck	
Overall Length	42.000ft
Overall Width	10.000ft
Overall Body Height	10.748ft
Min Body Ground Clearance	1.179ft
Track Width	9.810ft
Lock-to-lock time	4.00s
Curb to Curb Turning Radius	36.200ft



PK	DATE	BY	DESCRIPTION
1	10/20/2023		FOR MUNICIPAL SUBMISSION

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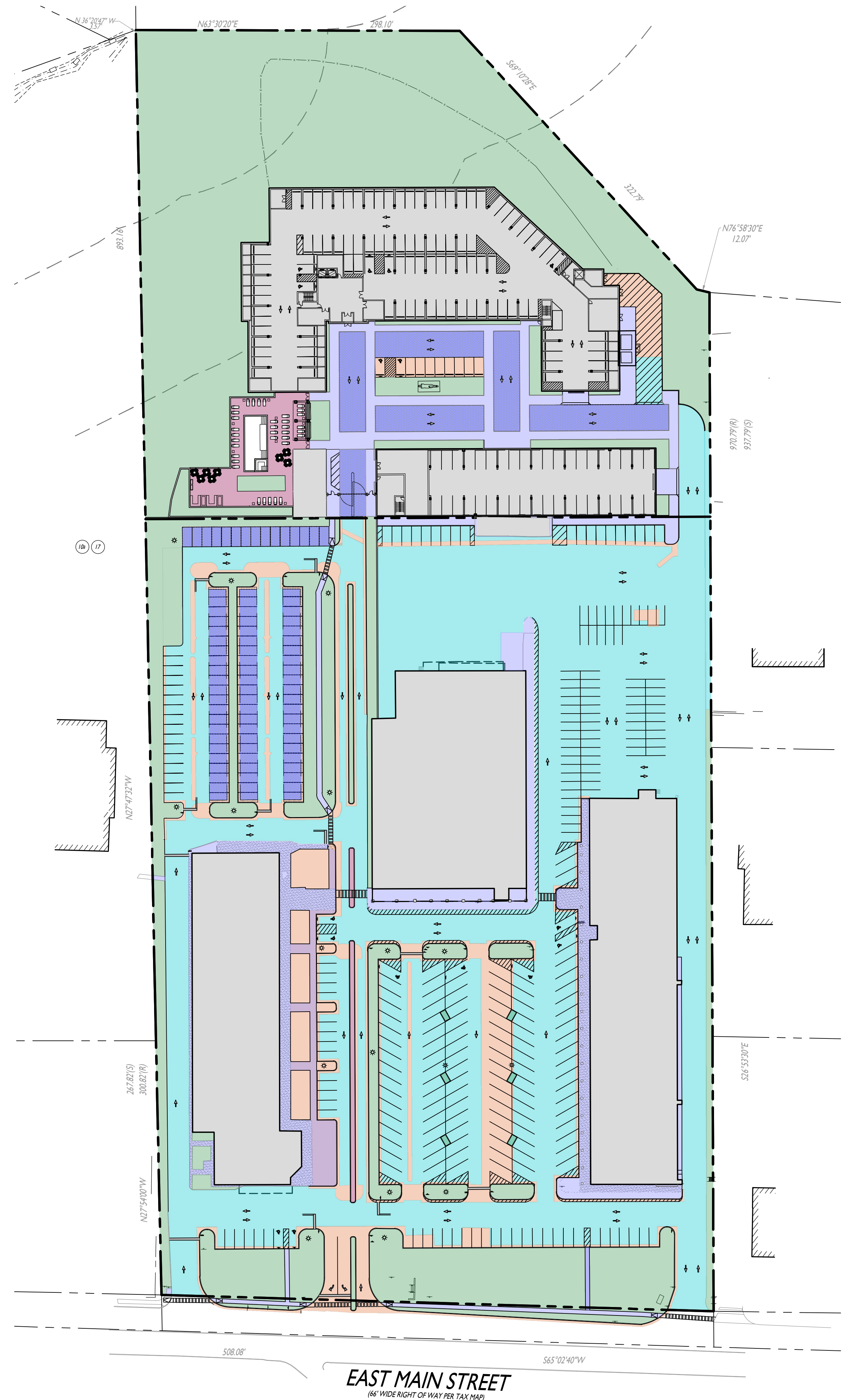
SCALE: 1" = 60' PROJECT ID: RUT-200218

TITLE:  
**TRUCK TURNING (FIRE TRUCK)**

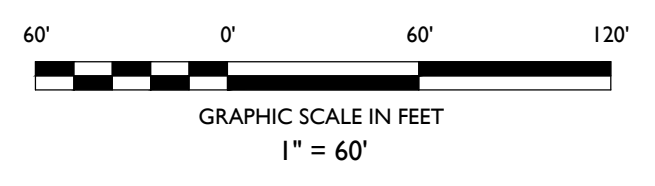
DRAWING:  
**C-27**



2: MULTIFAMILY DEVELOPMENT - 140 EAST MAIN STREET - HUDSON COUNTY, NJ - 07030



LEGEND		
COLOR	DESCRIPTION	QUANTITY
<span style="background-color: cyan; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	ASPHALT: MILL & OVERLAY	185,178 SF
<span style="background-color: orange; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	ASPHALT: FULL DEPTH	40,167 SF
<span style="background-color: blue; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	PERMEABLE PAVERS	17,506 SF
<span style="background-color: green; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	PERVIOUS	152,601 SF
<span style="background-color: purple; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	CONCRETE	37,443 SF
<span style="background-color: pink; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	DECORATIVE PAVERS	7,598 SF



PK	BY	DATE	ISSUE	DESCRIPTION
1		10/20/23		FOR MUNICIPAL SUBMISSION

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SCALE: 1" = 60' PROJECT ID: RUT-20218

TITLE: **PAVING EXHIBIT**

DRAWING: **C-28**